

First Alliance Credit Union at Alliance Place

First Alliance Credit Union

11/26/2024

5pm @ American Red Cross

305 Alliance Pl NE, Rochester, MN 55906

Overview

- Introductions
- About our Project
- The Application Process
- Exhibits:
 - Site Plan
 - Landscape Plan
 - Building Elevation
 - Photometric Plan
- Traffic Impacts
- Q&A

Introduction

WSE Massey – Planning and Civil Engineering

CRW Architecture – Architect

Pristash Construction – Project Manager

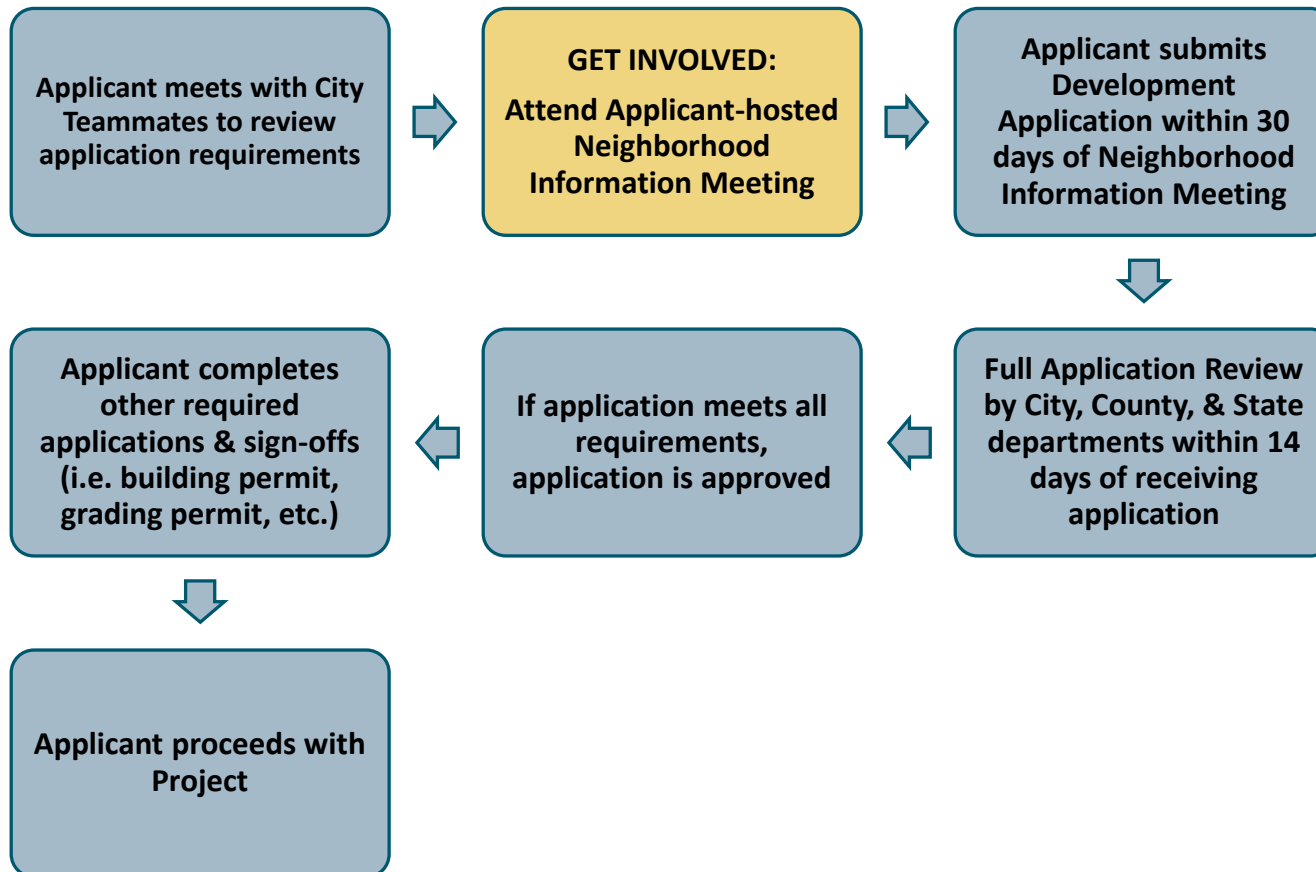
About our Project

First Alliance is proposing a new branch building on a portion of the former branch lot along 37th St. NW.

The existing building will be demolished and a new branch building with a drive through will be constructed on the west portion of the site.

The east portion will be subdivided for future development.

The Application Process

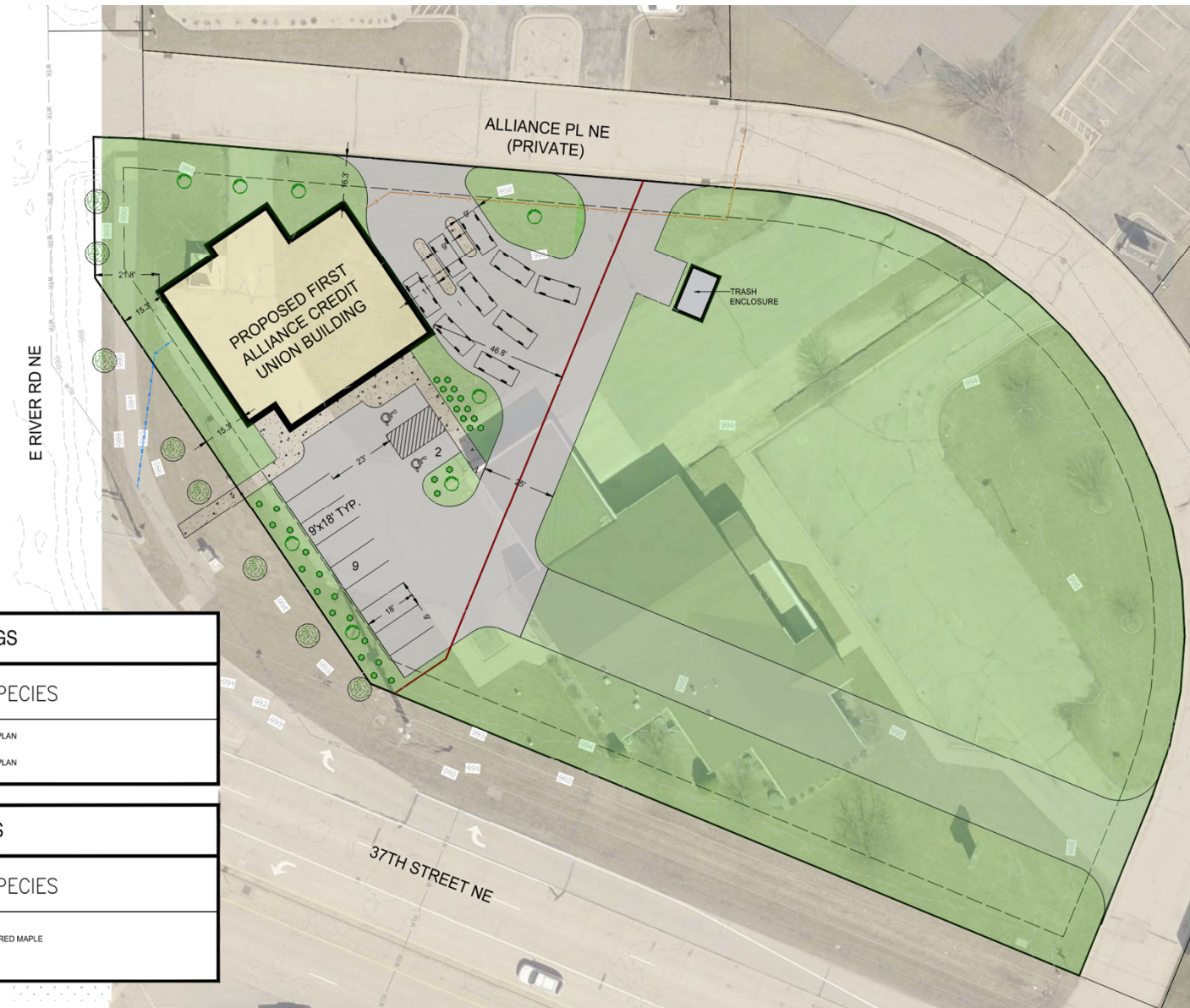


Site Plan

PROPOSED FINANCIAL INSTITUTION		
PARCEL ID: 742423059179		
SITE CAPACITY CALCULATION (ZONED MX-G)		
GROSS AREA = 1.53 ACRES/66,733 SF NET BUILDABLE AREA = 66,733 SF		
DESCRIPTION	PER CODE	PROVIDED
FLOOR AREA RATIO	1.0	.06
LANDSCAPED AREA	15% MIN	0.50/1.29=39%
BUILDING HEIGHT PRIMARY/ACCESSORY	60/25'	18'
MINIMUM LOT SIZE	None	1.53
SETBACKS:		
FRONT	15' MIN	15'
INTERIOR SIDE	None	46'
REAR	None	16'
STREET SIDE	7' MIN	22'
PARKING: MIN 1 per 600 sq. ft. MAX 1 per 300 sq. ft.	7 14	TOTAL PARKING 13
BICYCLE PARKING: 1 PER 10 PARKING STALLS	10 MIN.	10
BUFFERYARD		
NORTH	N/A	N/A
SOUTH	N/A	N/A
EAST	N/A	N/A
WEST	N/A	N/A




Landscape Plan



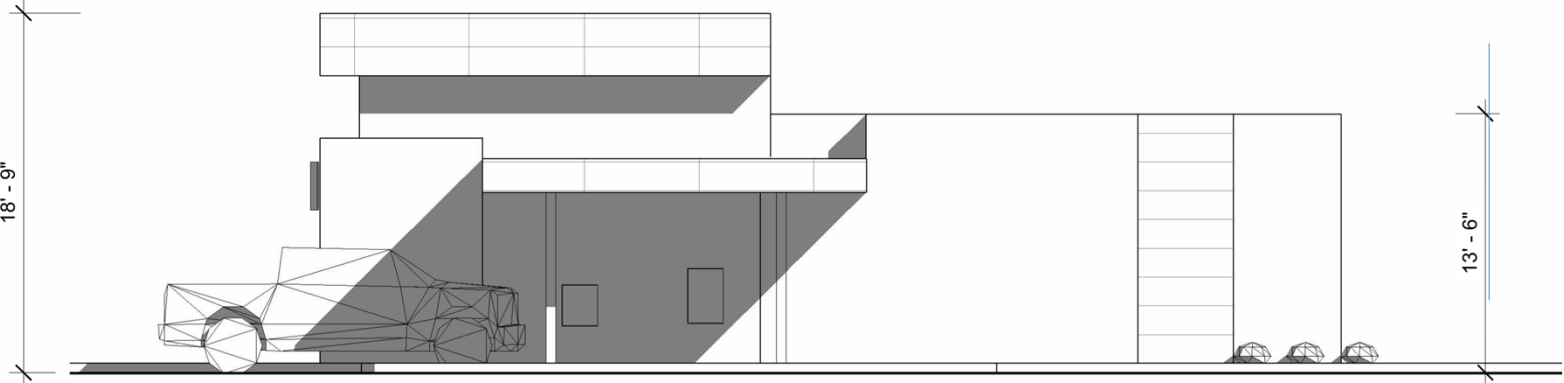
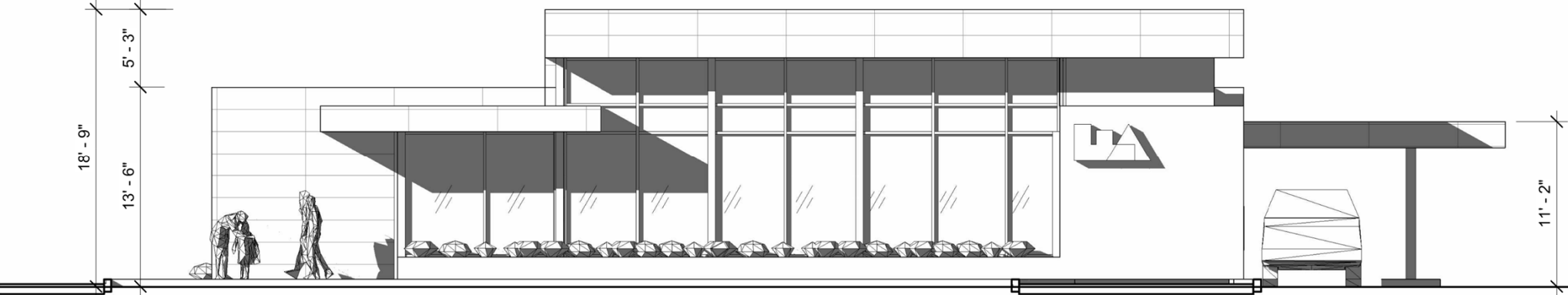
PLANTING SCHEDULE - INTERNAL PLANTINGS

PER CODE	PROVIDED	SPECIES
UNDERSTORY TREES = $223' / 30' = 8$ SHRUBS = $223' / 30' \times 3 = 23$	UNDERSTORY TREES = 8 SHRUBS = 23	 SEE LANDSCAPING PLAN  SEE LANDSCAPING PLAN

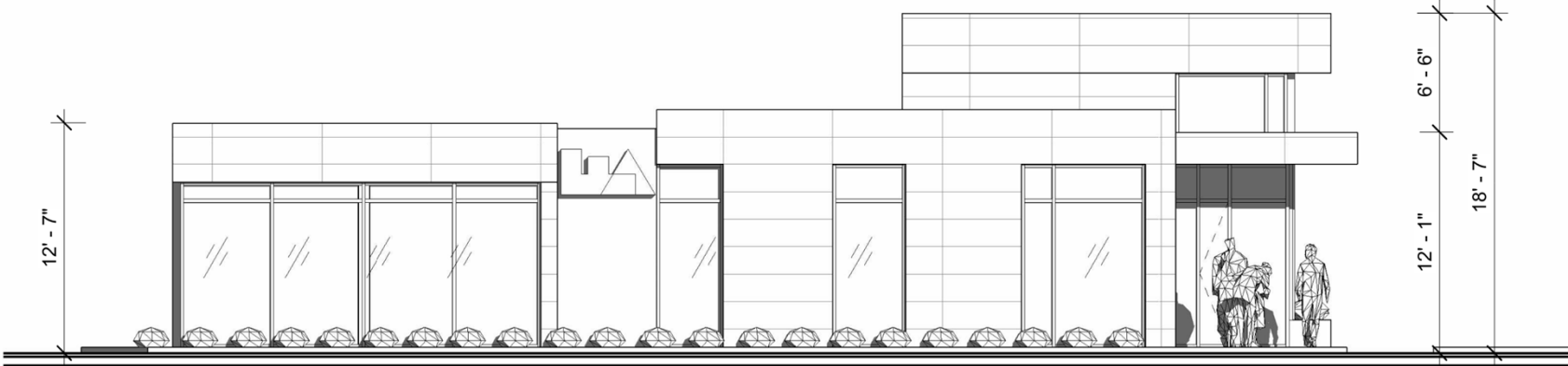
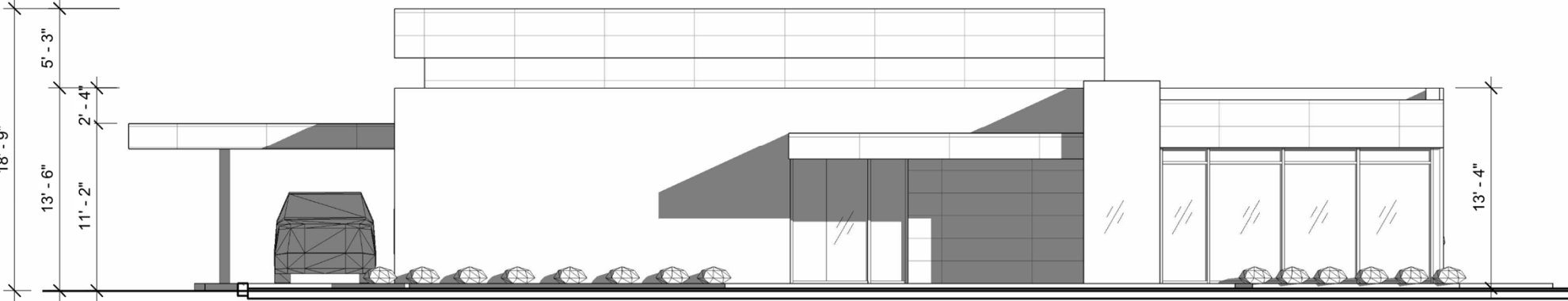
PLANTING SCHEDULE - BOULEVARD TREES

PER CODE	PROVIDED	SPECIES
BOULEVARD PLANTING = $223/35 = 7$	BOULEVARD PLANTING = 7	 RED MAPLE

Building Elevation (South & East)



Building Elevation (North & West)



Photometric Plan

- Lighting will not exceed illumination limits at the property line in accordance with the City of Rochester UDC.
- Pedestrian connectivity to Penny Lane will comply with higher illumination standards of the UDC.
- Photometric Lighting analysis will be developed in the detail design phase of the project.



Traffic Impacts

The trips associated with the proposed development are assumed to be similar to the volumes associated with the previous branch building and are characteristic of the MX-G zoning.

Q&A

Still have Questions?

Contact the City of Rochester's Community Development Department with any questions about this application type via email communitydevelopment@rochestermn.gov or phone (507-328-2600).