

RGI – West Circle Retail Center

Presentation by Mark Welch / G-Cubed Inc. on behalf of Jeremy Kane

Tuesday November 12th, 2024

5:00 pm

Overview

- Introductions
- About our Project
- The Application Process
- Exhibits:
 - Site Plan
 - Landscape Plan
 - Grading Plan
 - Building Elevation
 - Photometric Plan – to be added when complete
- Traffic Impacts
- Q&A

Introduction

Mark Welch – P.E., G-Cubed Engineering

- Senior Vice President – Civil Division Chief

Jeremy Kane – Schoeppner Inc.

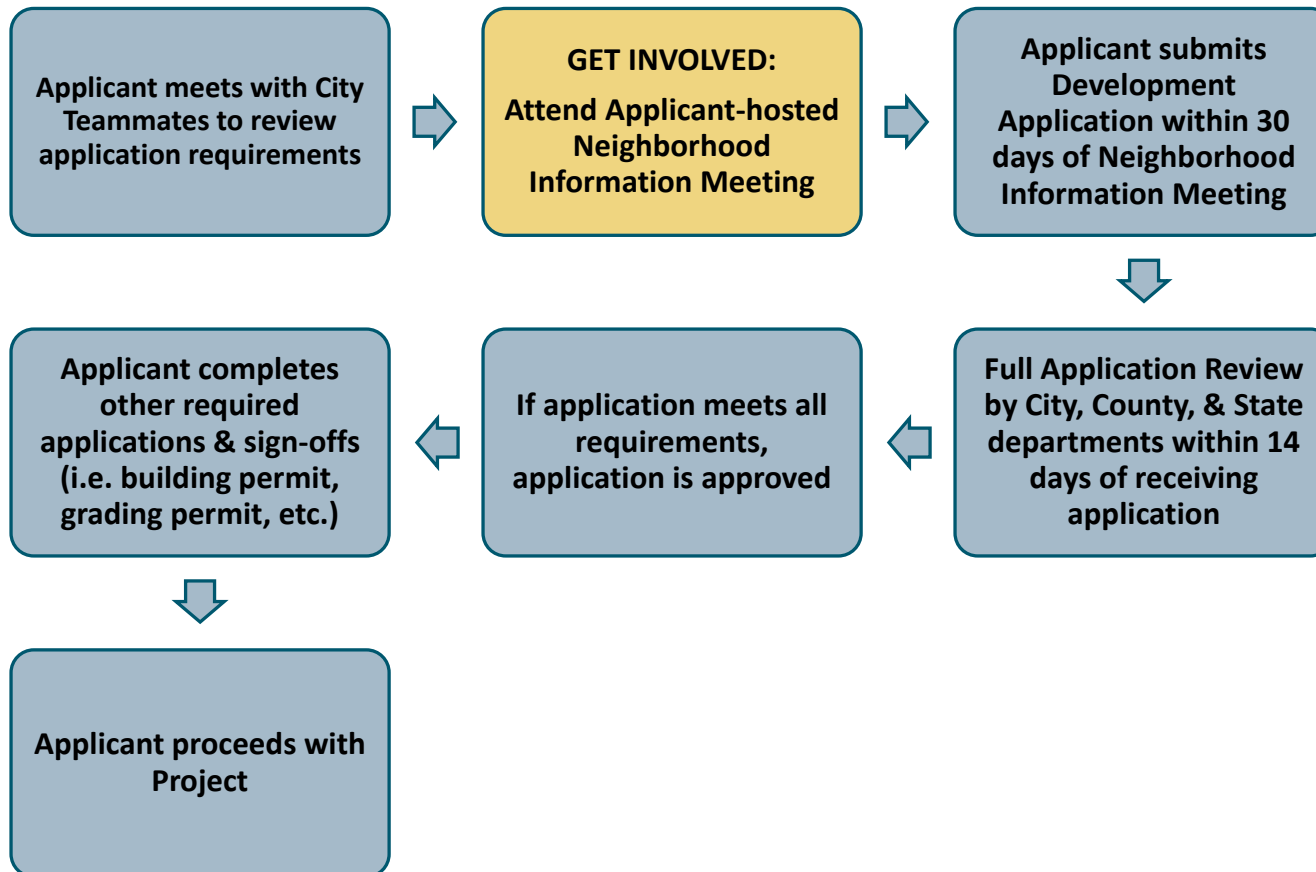
- Owner

About our Project

Location: Sarah Place NW (address is being requested). North of Kwik Trip, South of Sterling State Bank, and west of the new NW Professional Building.

Proposal: The construction of a new retail center building and associated parking and drives.

The Application Process

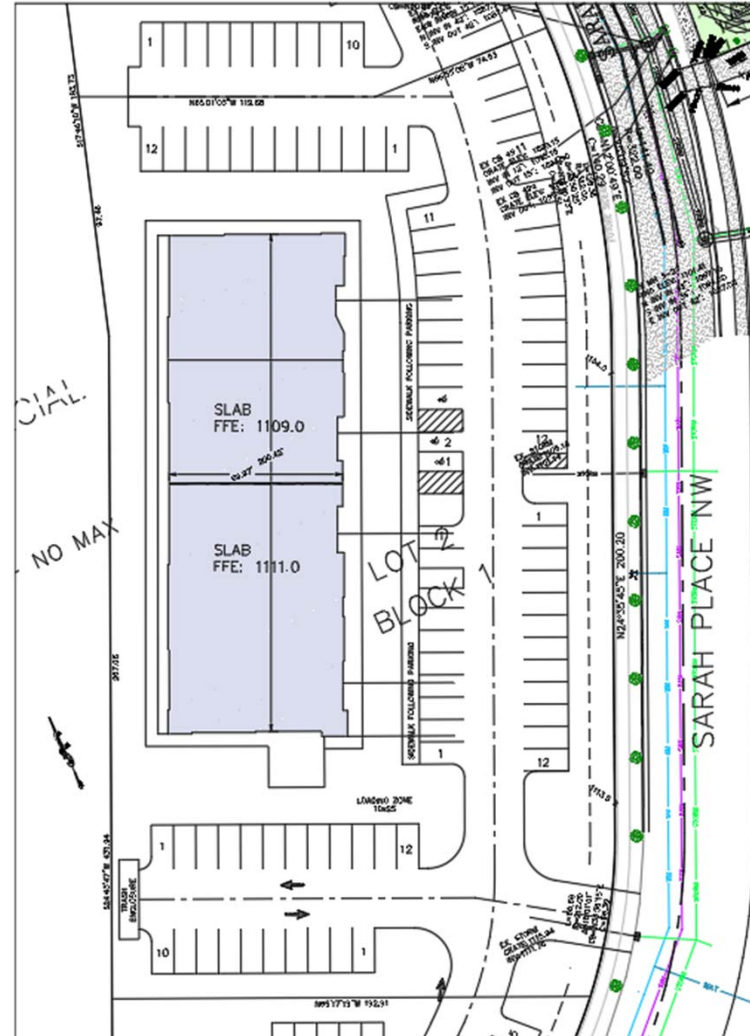


Site Plan

Zoned: MX-G (Mixed Use General)

Click grey arrows to view add'l map layers. x

- MX-G Mixed Use General
- MX-I Mixed Use Institutional
- MX-D Mixed Use Downtown Business
- MX-D Mixed Use Downtown Fringe
- MX-D Mixed Use Downtown Medical
- MX-T Transit Oriented Development Corridor
- MX-T Transit Oriented Development Node
- MX-T Transit Oriented Development Village
- R-1 Mixed Use Single Family
- R-2 Low Density Small Lot
- R-2x Low Density Residential Infill
- R-3 Medium Density Residential
- R-4 High Density Residential
- BP Business Park
- LI Light Industrial



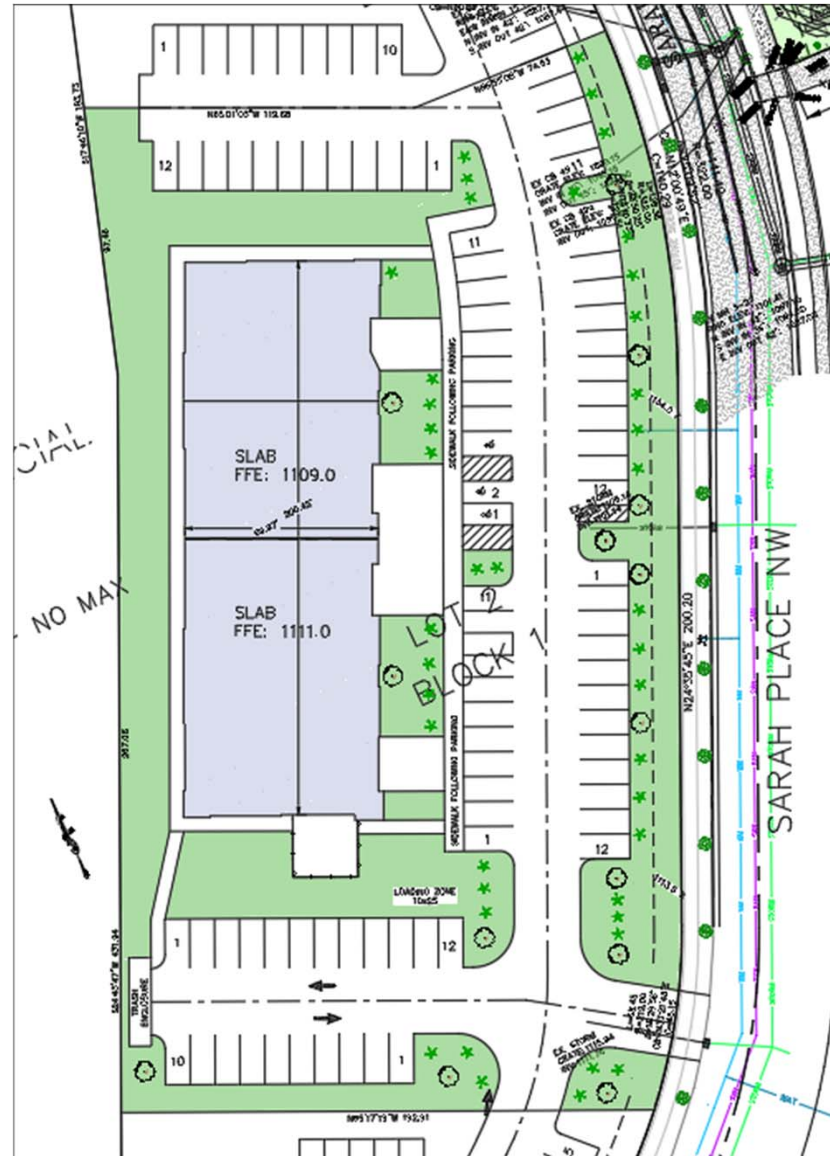
Grading Plan

- The site gradually slopes from north to south, high to low respectively. Grading will follow the existing contours with a stepped building elevation.
- Inlets were installed to capture stormwater runoff and routed to the existing storm sewer system within Sarah Place NW and outlets to the stormwater pond east of the site.

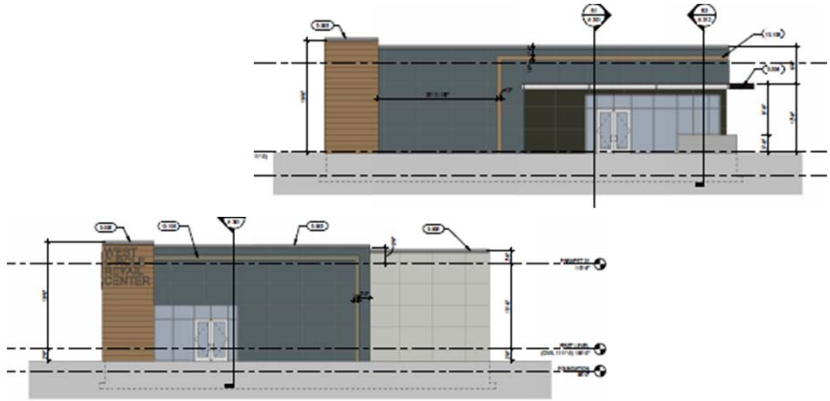


Landscape Plan

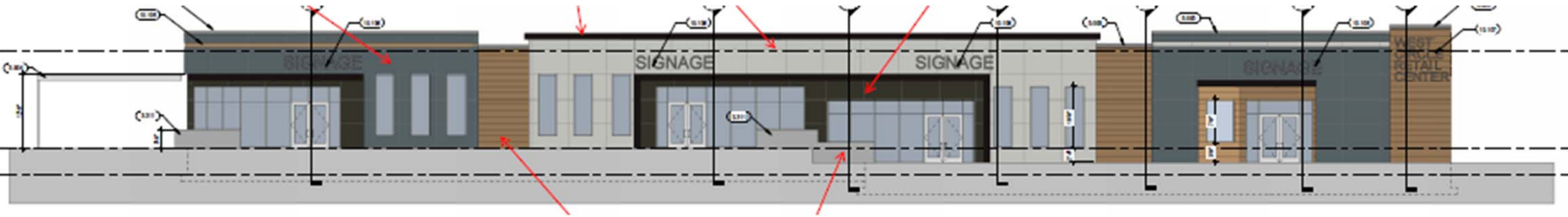
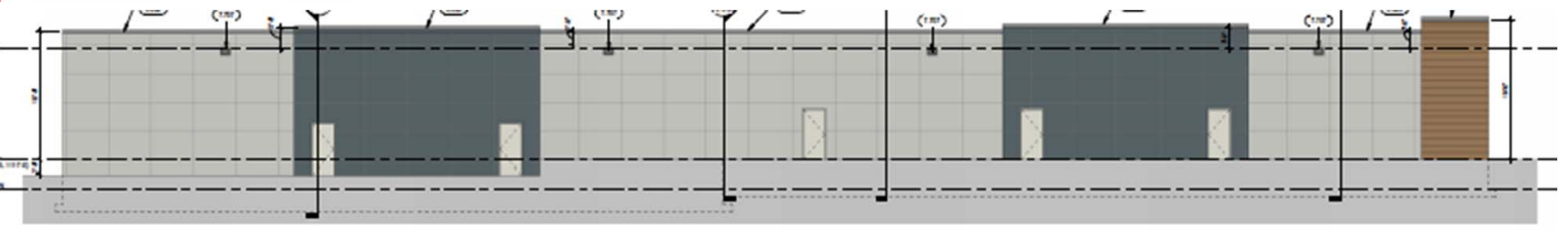
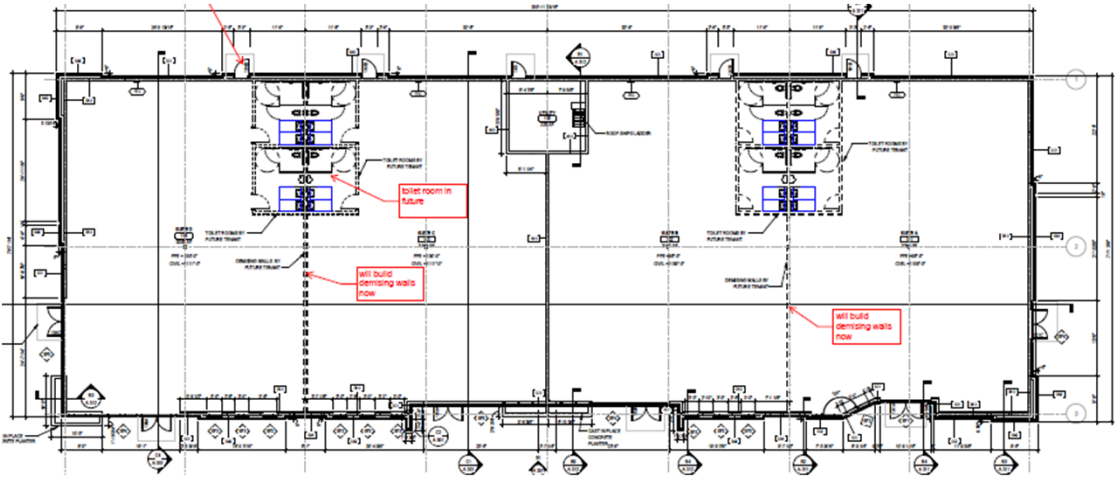
- 12 Boulevard Trees Required
- For MX-G zoning, there is a minimum standard of 1 understory tree and 3 deciduous or evergreen shrubs of minimum 3-foot-height for every 30 linear feet of lot frontage, planted at least 3 feet part on center. Minimum plant sizes per Table 400.06-2 will need to be adhered to. The Preliminary Landscape Plan takes into account locations where plantings are undesirable due to easements, sight lines or safety reasons.
- 14 understory and 42 deciduous or evergreen shrubs required



Building Elevation



ELEVATION - SOUTH
SCALE 1/8"=1'-0"



Photometric Plan

Description.

Add Exhibit/Pictures

Traffic Impacts

- A traffic study was completed in 2015 that predicted this parcel would have 108,600 SF of office space and generate approximately 204 AM peak hour trips, 200 PM peak hour trips, and 1,398 total weekday trips. The act of subdividing the parcel will not generate trips, and another traffic impact report determination will be made as part of this site development plan to ensure the plans remain consistent with the approved traffic study.

Q&A