

Back Home Harley-Davidson

Presentation by Mark Welch / G-Cubed Inc. on behalf of Paul Gutman

Tuesday October 29th, 2024

5:00 pm

Overview

- Introductions
- About our Project
- The Application Process
- Exhibits:
 - Site Plan
 - Landscape Plan
 - Grading Plan
 - Building Elevation
 - Photometric Plan – to be added when complete
- Traffic Impacts
- Q&A

Introduction

Mark Welch – P.E., G-Cubed Engineering

- Senior Vice President – Civil Division Chief

Paul Gutman

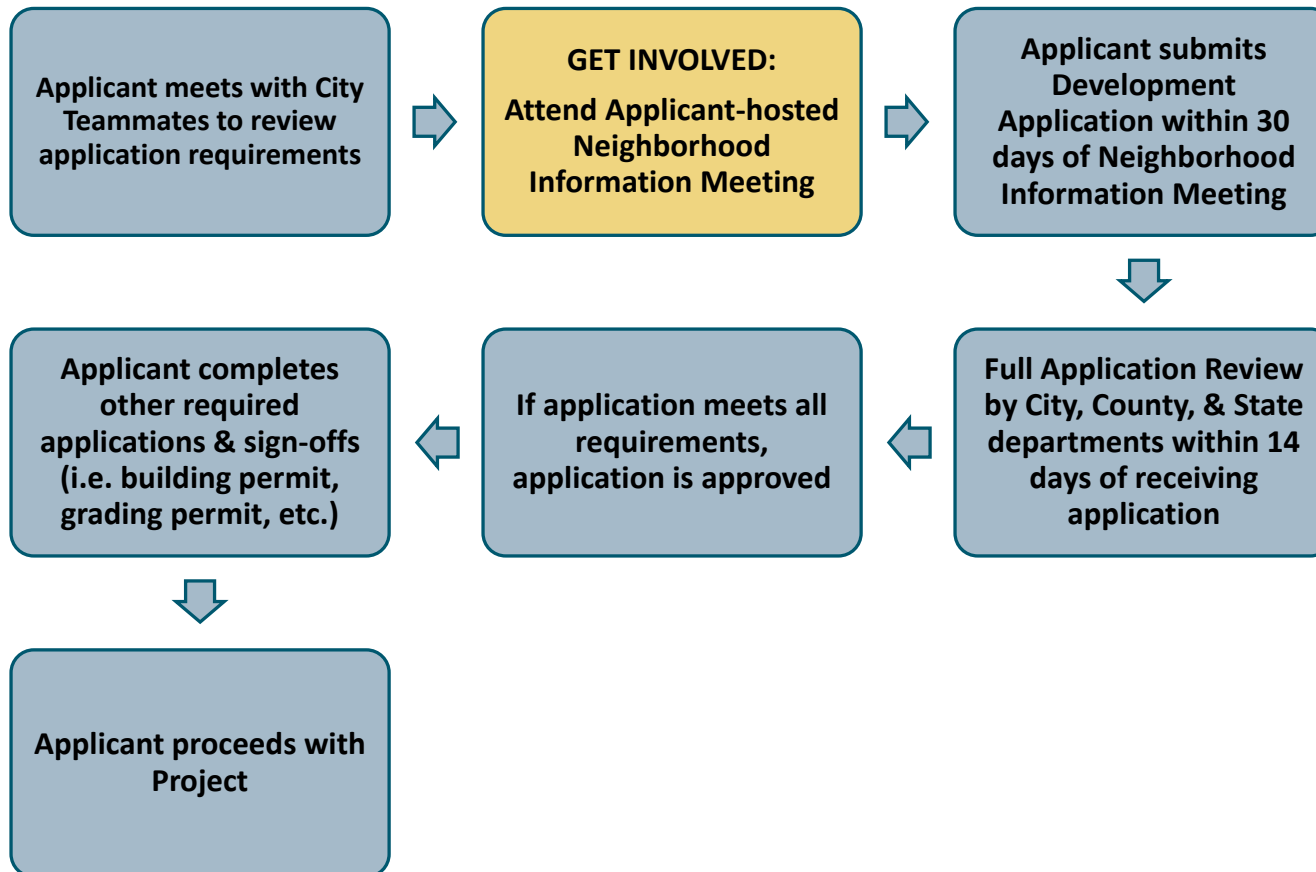
- Owner

About our Project

Location: 4884 Commercial Dr SW. South of Kwik Trip & 48th St, East of Deutsch Furniture & Commercial Dr, and west of the southbound Hwy 63 on ramp.

Proposal: The construction of a new Harley-Davidson dealership and associated parking and drives.

The Application Process

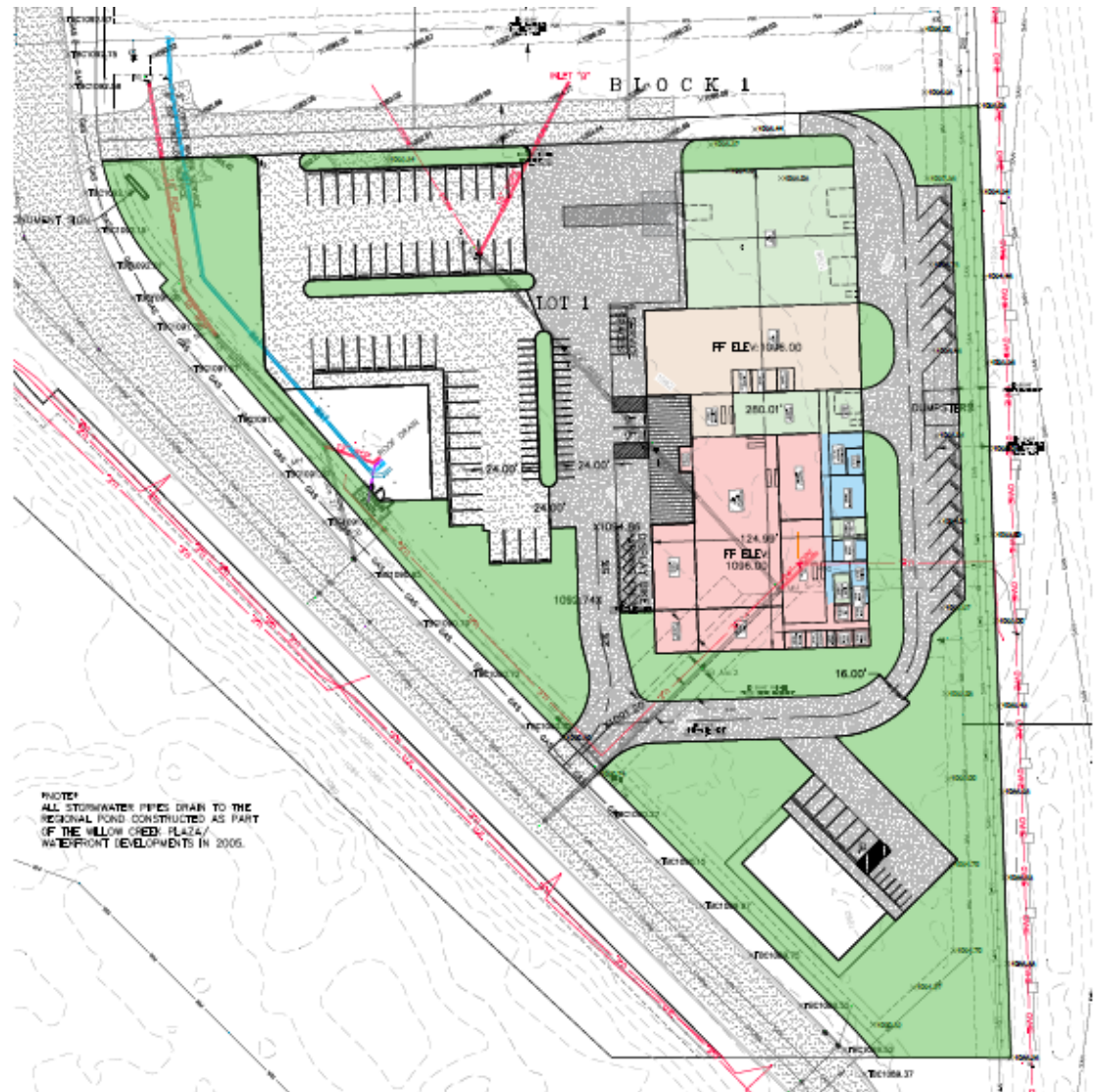


Site Plan

Zoned: MX-G (Mixed Use General)

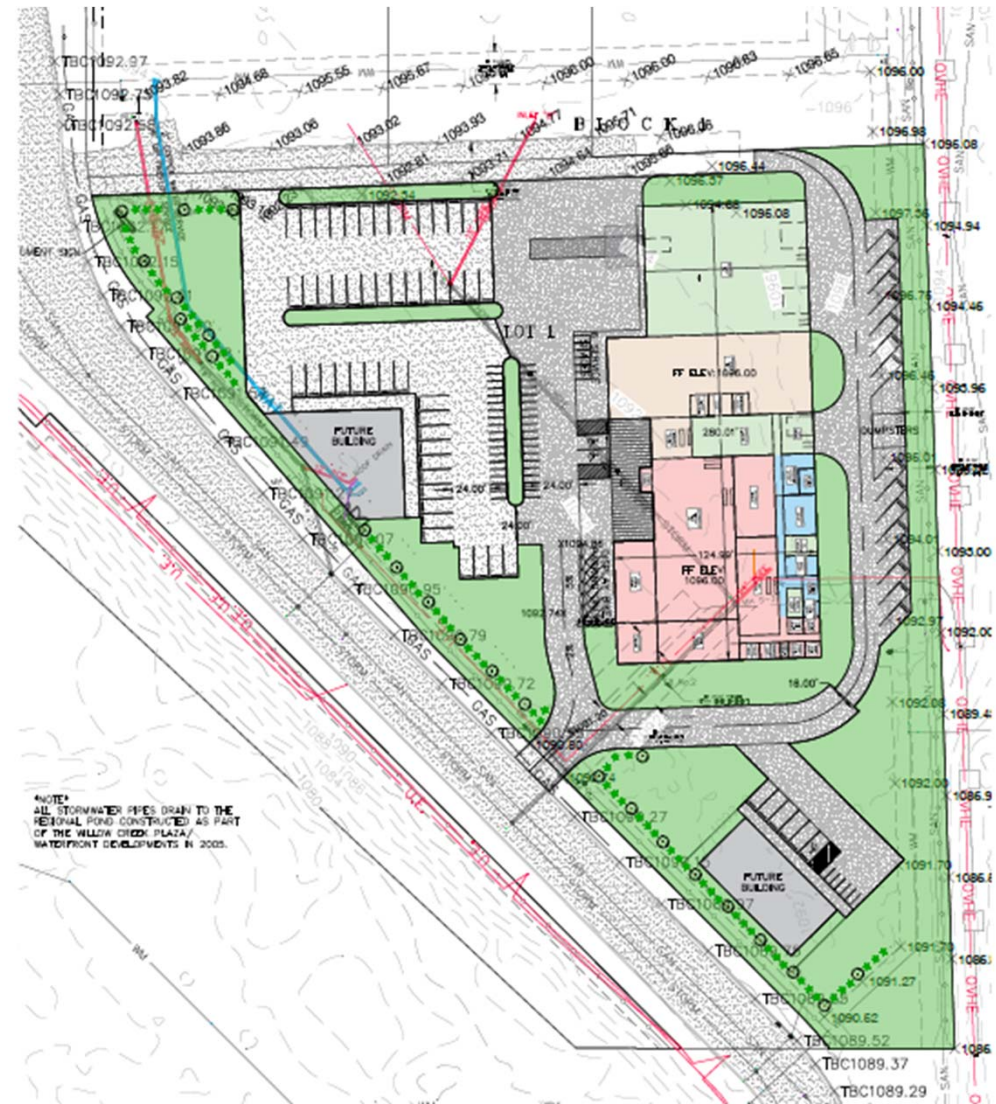
Click grey arrows to view add'l map layers. x

- MX-G Mixed Use General
- MX-I Mixed Use Institutional
- MX-D Mixed Use Downtown Business
- MX-D Mixed Use Downtown Fringe
- MX-D Mixed Use Downtown Medical
- MX-T Transit Oriented Development Corridor
- MX-T Transit Oriented Development Node
- MX-T Transit Oriented Development Village
- R-1 Mixed Use Single Family
- R-2 Low Density Small Lot
- R-2x Low Density Residential Infill
- R-3 Medium Density Residential
- R-4 High Density Residential
- BP Business Park
- LI Light Industrial



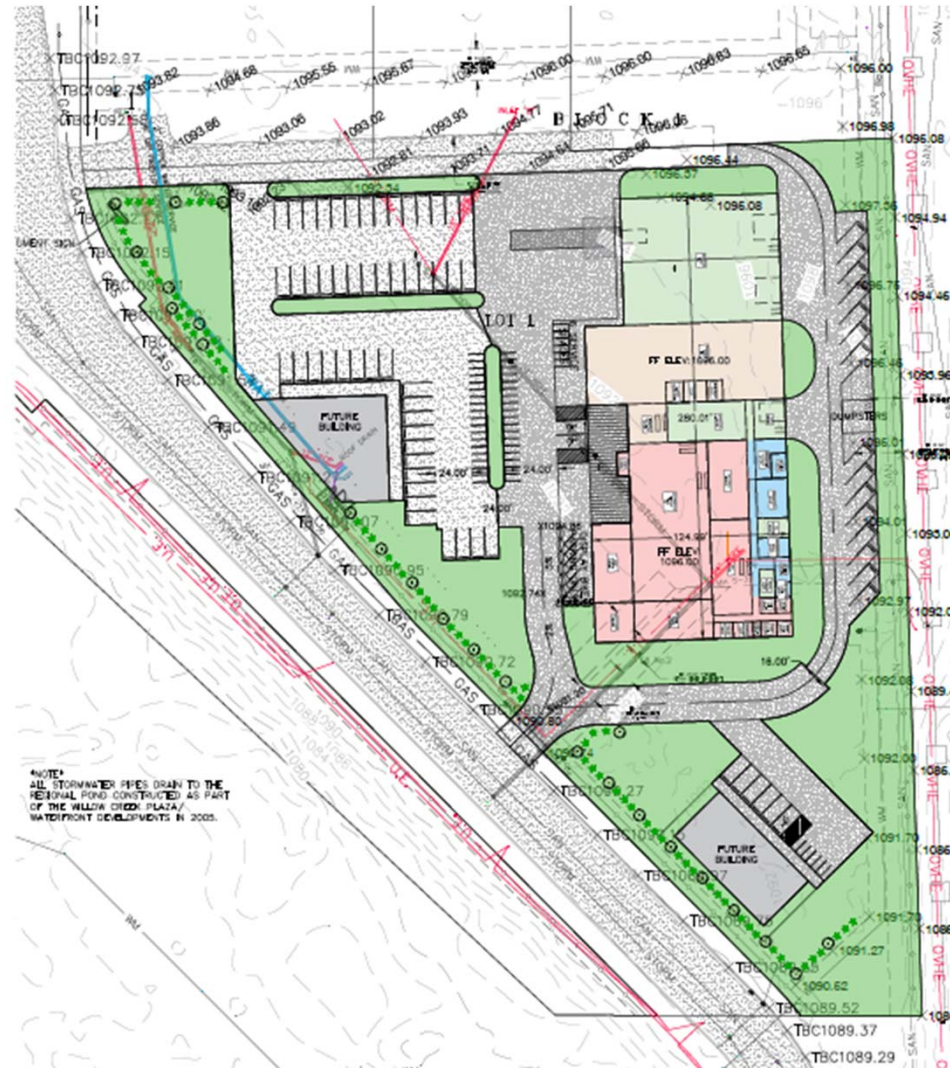
Grading Plan

- Site was previously graded and paved around 2007 but was not developed further.
- Inlets will be reused or installed to capture stormwater runoff and routed to the existing storm sewer system that outlets to the stormwater pond west of the Viking Electric site.

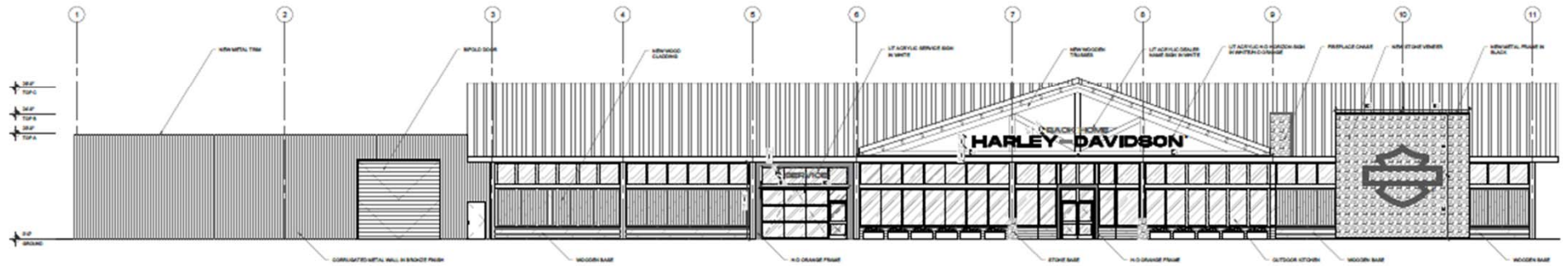
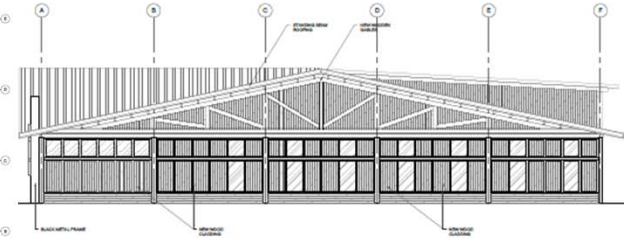
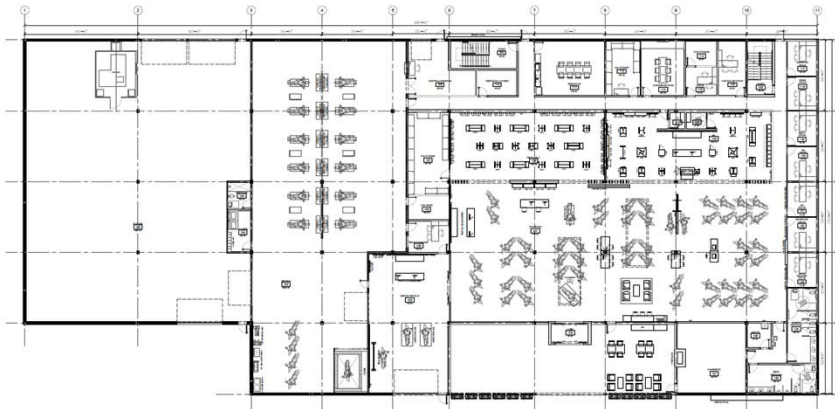
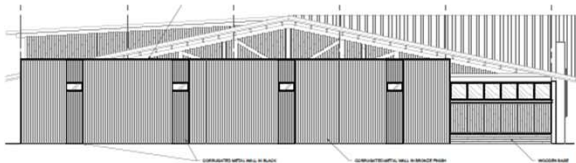


Landscape Plan

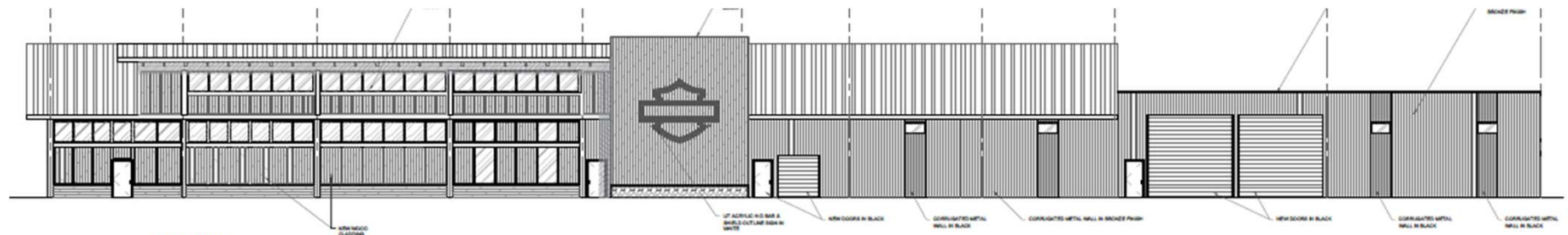
- 21 Boulevard Trees Required
- For MX-G zoning, there is a minimum standard of 1 understory tree and 3 deciduous or evergreen shrubs of minimum 3-foot-height for every 30 linear feet of lot frontage, planted at least 3 feet part on center. Minimum plant sizes per Table 400.06-2 will need to be adhered to. The Preliminary Landscape Plan takes into account locations where plantings are undesirable due to easements, sight lines or safety reasons.
- 24 understory and 72 deciduous or evergreen shrubs required



Building Elevation



1 WEST ELEVATION



3 EAST ELEVATION

Photometric Plan

Description.

Add Exhibit/Pictures

Traffic Impacts

- An intersection control evaluation was completed in 2022 for the intersection of Commercial Dr SW and 48th St SW which estimated traffic generated by commercial developments in this area. A single lane roundabout was subsequently constructed, and the improved intersection will more than adequately handle the traffic generated by this proposed development.

Q&A