



Project North Star

Neighborhood Information Meeting: Site Development Plan

June 10, 2024






Overview

- Introductions / About Ryan
- About the Project
- Application Process
- Exhibits:
 - Site Plan
 - Landscape Plan
 - Building Elevation
 - Photometric Plan
- Traffic Impacts
- Q & A


Introductions / About Ryan



FOUNDED
1938



1,900
EMPLOYEES



FAMILY
OWNED



Who We Are / About Ryan

James Ryan and his son started Ryan Lumber and Coal in the 1930s in Hibbing. The Ryan family's legacy, values, and community focus lives on today.

Ryan's Minneapolis office supported 354 charities and raised \$774,000 in donations in 2023



STEWARDSHIP



INTEGRITY



SAFETY



RESPECT



FAMILY



EXCELLENCE



FUN

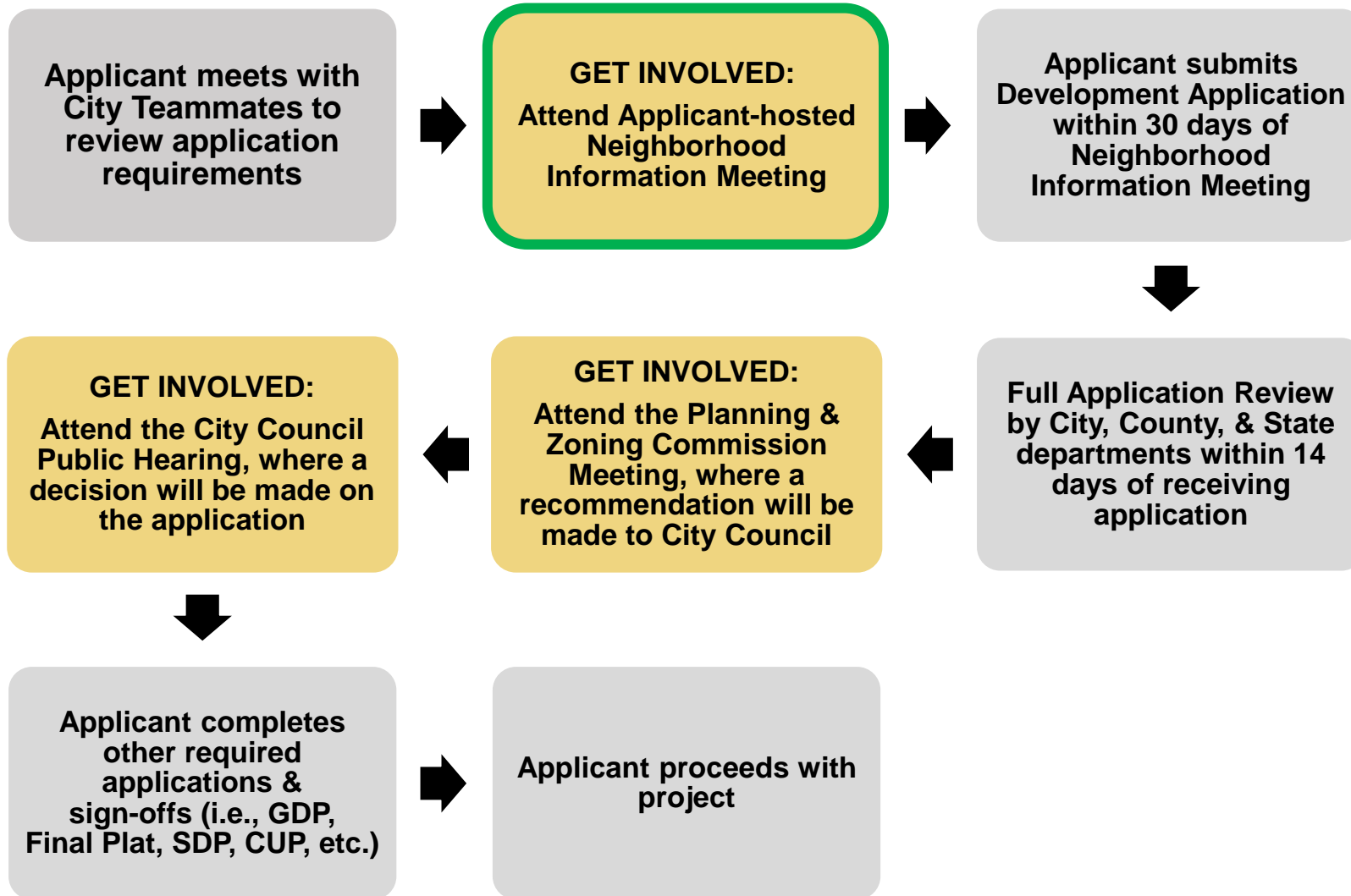




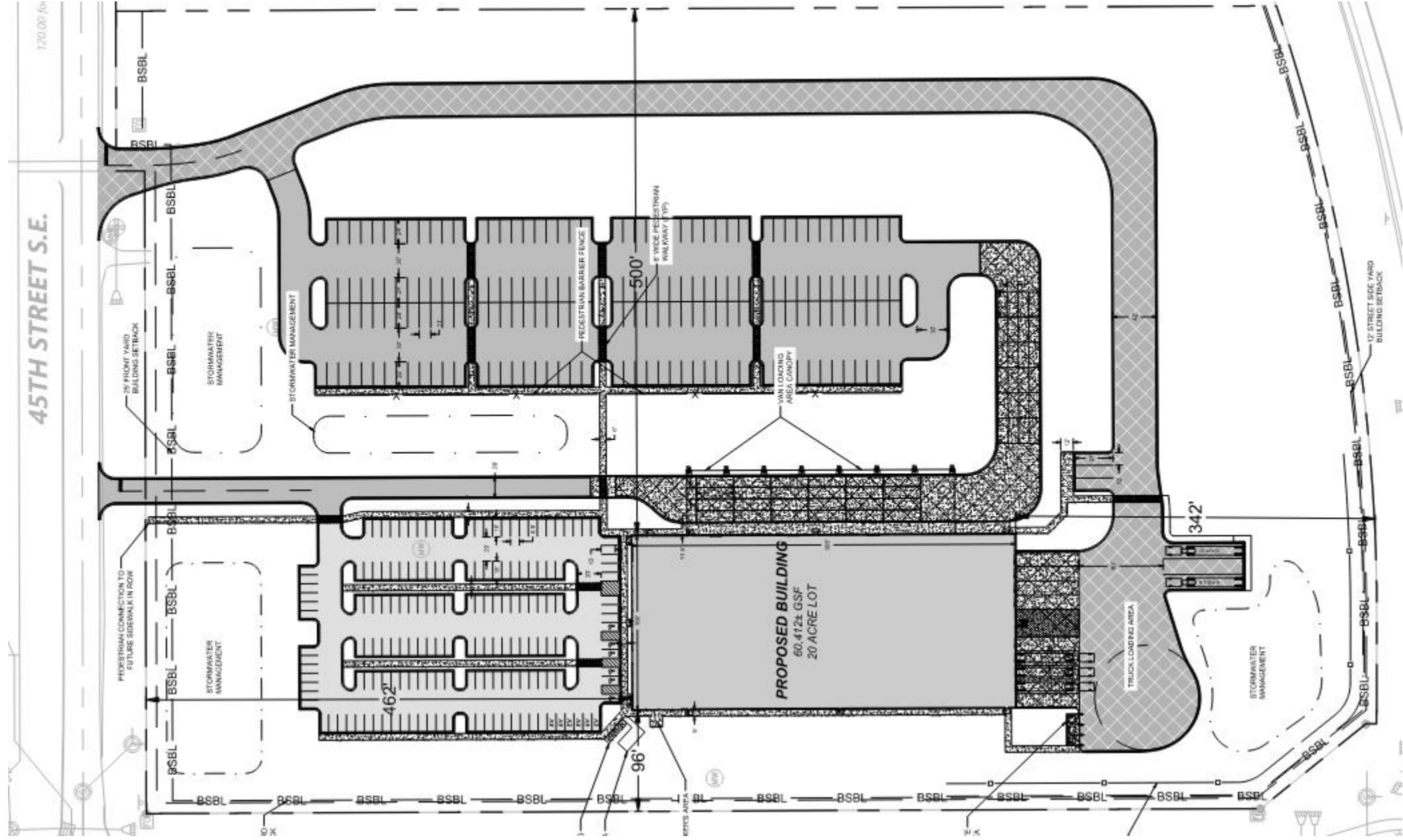
About the Project

- Ryan Companies is proposing to develop this 20-acre site with a +/- 60,000 SF building and associated site improvements.
- The end user is expected to operate under the 'Motor Freight and Warehousing' land use designation.

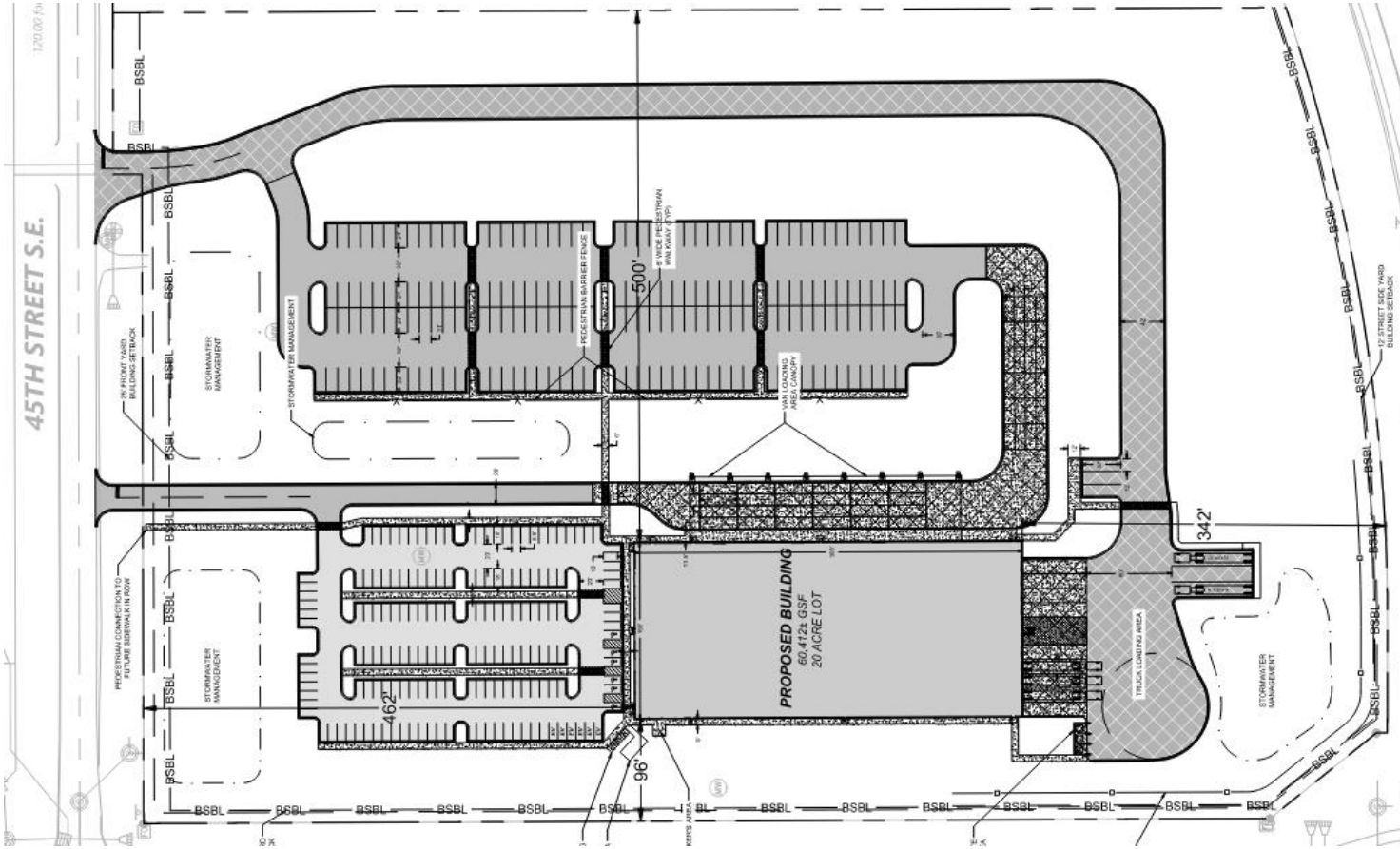
City of Rochester Application Process



Conceptual Site Plan



Conceptual Site Data



SITE DATA

ZONING REQUIREMENT	PROPOSED
MAXIMUM HEIGHT: 40 FEET	31 FEET
MAXIMUM FLOOR AREA RATIO: 0.5	0.07
MAXIMUM PARKING STALLS: N/A FOR THIS USE	349 STALLS
REQUIRED BICYCLE PARKING: 10 SPOTS	10 SPOTS
REQUIRED EV CHARGING LOCATIONS: 6 STALLS	6 STALLS
MINIMUM LANDSCAPE AREA: 8%	59%
FRONT YARD BUILDING SETBACK: 25'	462'
STREET SIDE YARD BUILDING SETBACK: 12'	96'
INTERIOR SIDE YARD BUILDING SETBACK: 0'	500'

Conceptual Landscaping Plan



Conceptual Building Elevation

Building Dimensions:

166 feet by 365 feet

Required Design Elements:

Horizontal articulation through use of varying wall textures and wall planes.

360-Degree Architecture through consistent materials and architectural treatment.

High quality building materials, such as pre-cast concrete and metal wall panels.





Traffic Impacts

Current St. Bridget Road SE AADT: 2,650 Vehicles per Day

45th Street SE AADT: No Data Available

Generation of Proposed Use: 1,058 Vehicles per Day

Planning-Level Roadway Capacity

Facility Type	Planning Level Daily Capacity Ranges (AADT)	Under Capacity				Approaching Capacity		Over Capacity
		LOS	A	B	C	D	E	F
		V/C	0.2	0.4	0.6	0.85	1.0	>1.0
Two-lane undivided urban	8,000-10,000	2,000	4,000	6,000	8,500	10,000	>10,000	
Four-lane divided urban (five-lane)	28,000-32,000	6,400	12,800	19,200	27,200	32,000	>32,000	



Questions and Answers



Still have questions?

Contact the City of Rochester's Community Development Department with any questions about this application type via email communitydevelopment@rochestermn.gov or phone (507-328-2600).