



Project North Star

Neighborhood Information Meeting: Rezoning

June 10, 2024





Overview

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- About the Project
- Application Process
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 - Current & Proposed Zoning Map
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Introductions / About Ryan



FOUNDED
1938



1,900
EMPLOYEES



FAMILY
OWNED



Who We Are / About Ryan

James Ryan and his son started Ryan Lumber and Coal in the 1930s in Hibbing. The Ryan family's legacy, values, and community focus lives on today.

Ryan's Minneapolis office supported 354 charities and raised \$774,000 in donations in 2023



STEWARDSHIP

INTEGRITY

SAFETY

RESPECT

FAMILY

EXCELLENCE

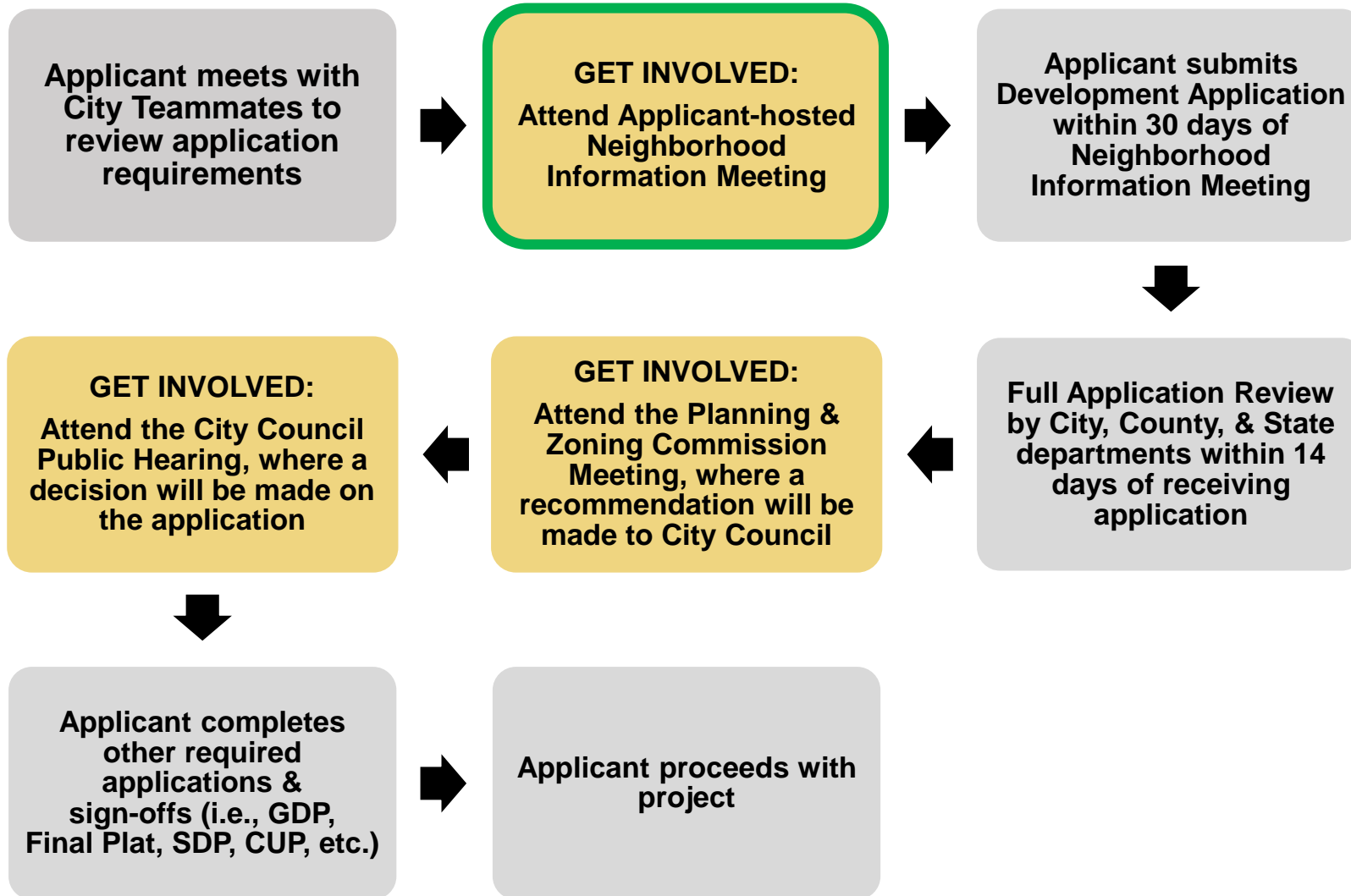
FUN



About the Project

- Ryan Companies is proposing to annex and rezone 20 acres of land located at the SE corner of the intersection of 45th Street SE and St. Bridget Road SE into the City of Rochester.
- This lot is currently zoned A4 – Agricultural Urban Expansion District within Olmstead County Jurisdiction.
- Ryan companies proposes rezoning the lot to LI – Light Industrial within the City of Rochester.

City of Rochester Application Process

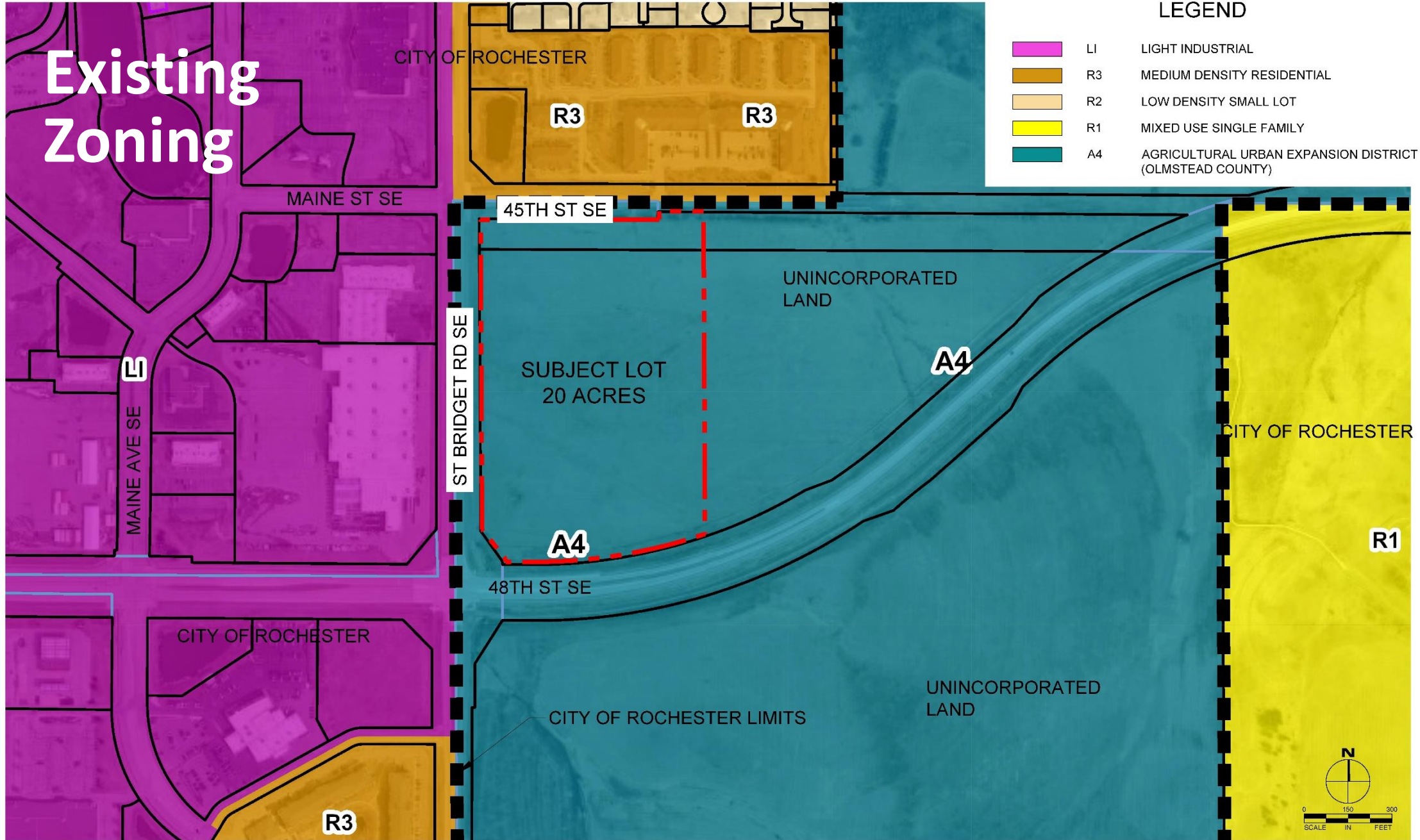




Existing Zoning

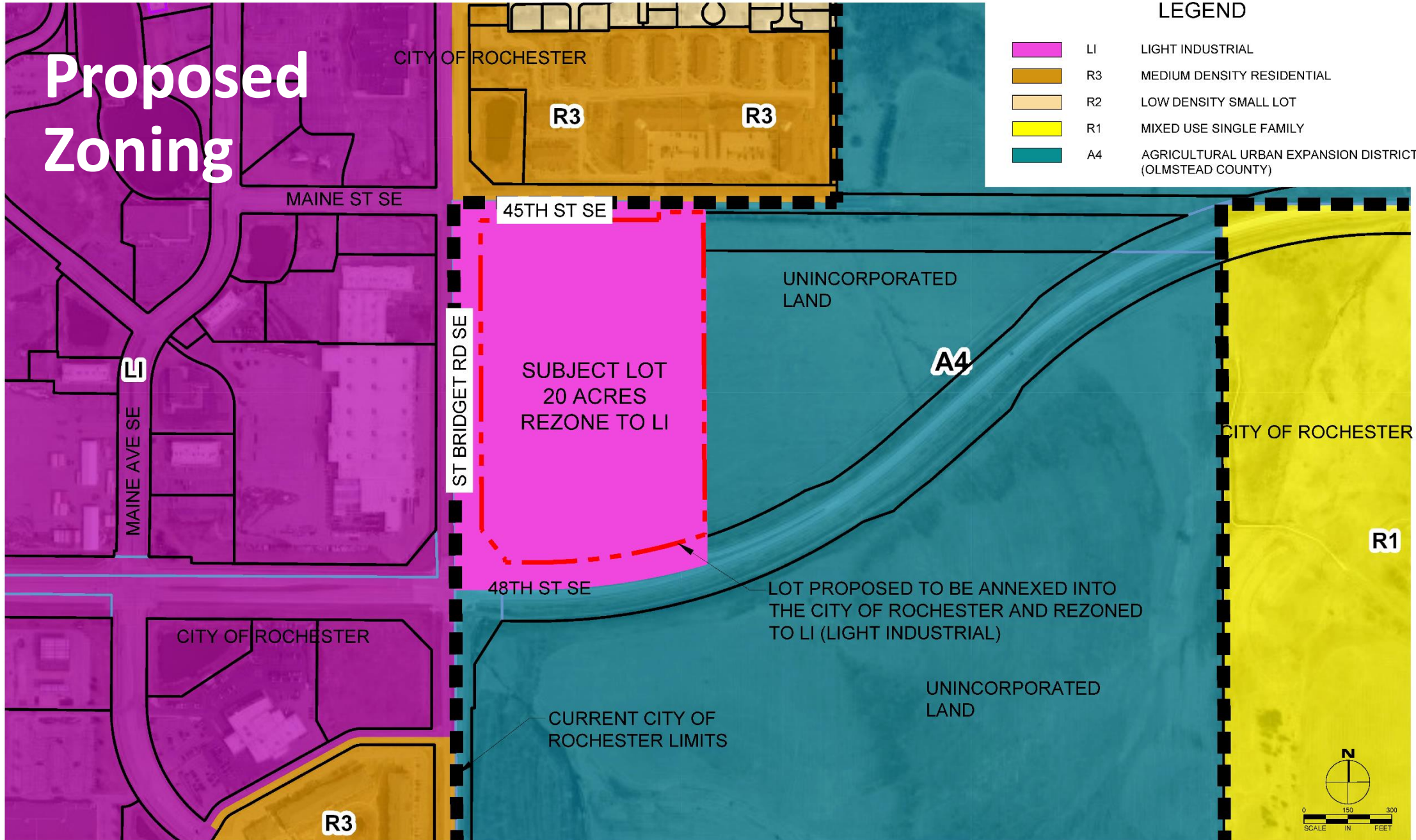
LEGEND

	L1	LIGHT INDUSTRIAL
	R3	MEDIUM DENSITY RESIDENTIAL
	R2	LOW DENSITY SMALL LOT
	R1	MIXED USE SINGLE FAMILY
	A4	AGRICULTURAL URBAN EXPANSION DISTRICT (OLMSTEAD COUNTY)





Proposed Zoning



Massing Permitted



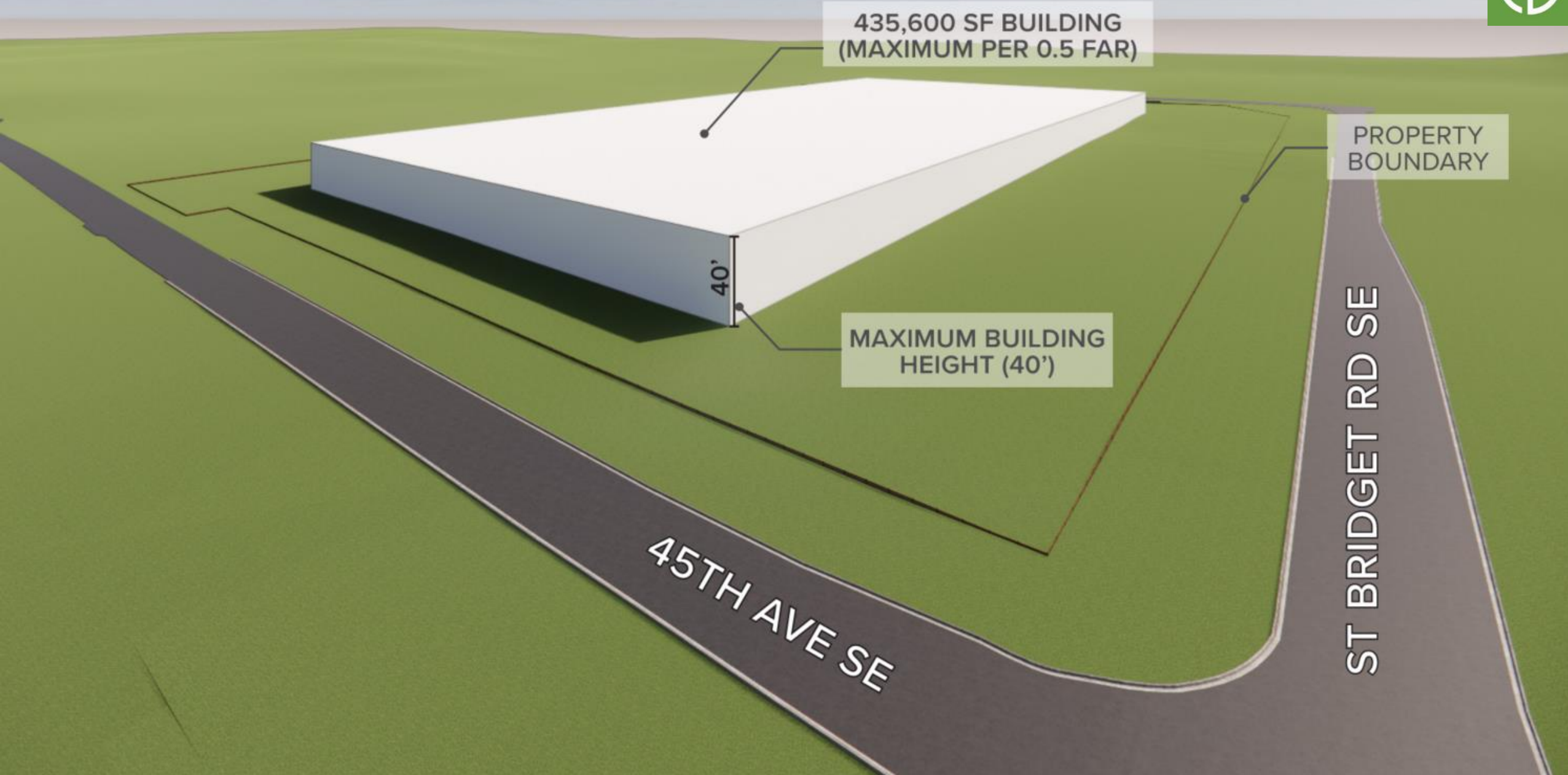
Existing Zoning: A4

- Maximum Height:
 - 35 foot maximum height for residential buildings
 - No height limit for agricultural buildings
 - 55 foot maximum height for public or semi-public buildings, churches, cathedrals, temples or schools. Setback is increased by 1 foot for each foot of height exceeding 35 feet.
- Maximum Floor Area Ratio:
 - No listed maximum Floor Area Ratio
 - Limit of one farmstead dwelling

Proposed Zoning: LI

- Maximum Height:
 - 40-foot maximum height
- Maximum Floor Area Ratio:
 - 0.5

Maximum Allowable Massing



Maximum Allowable Massing



25' FRONT YARD SETBACK

20 ACRE PROJECT SITE
(871,200 SF)

MAXIMUM ALLOWED BUILDING MASS:
435,600 SF
BASED ON 0.5 MAX FLOOR AREA RATIO PER
LIGHT INDUSTRIAL ZONING DISTRICT

PROJECT NORTH STAR PROPOSED
BUILDING SIZE: ±60,000 SF

12' STREET SIDE YARD SETBACK





Dimensional Standards

Existing Zoning: A4

- Minimum Lot Area: None
- Minimum Lot Width: 60 feet
- Front Yard Building Setback: 30 Feet
- Street Side Yard Building Setback: 30 Feet
- Interior Side Yard Building Setback: 8
- Minimum Landscape Area: None

Proposed Zoning: LI

- Minimum Lot Area: None
- Minimum Lot Width: None
- Front Yard Building Setback: 25 Feet
- Street Side Yard Building Setback: 12 Feet
- Interior Side Yard Building Setback: None
- Minimum Landscape Area: 8%

Permitted Uses of the Existing & Proposed Zoning Districts



Existing Zoning: A4

- Farm Dwelling
- Non-Farm Dwelling
- Farmstead Dwelling
- Farm Drainage Systems
- Railroad Right-Of-Ways (Excluding freight yards and buildings)
- One Seasonal Roadside Stand
- Forest and Game Management Areas
- Home Business
- General Farming, including raising of crops, livestock, poultry, dairying, horticulture, apiculture, sod farming and similar uses (excluding new feedlots)
- Single Family detached dwelling
- Public Park Facilities
- Accessory Structures and Uses “customarily incidental to above uses”

Proposed Zoning: LI

- Emergency Service
- Public Facility
- Specialized Education
- Agriculture Production
- Agriculture Retail
- Veterinary and Animal Services
- Adult Entertainment
- Indoor Entertainment or Recreation
- Fast Food Restaurant
- Standard Restaurant
- Business or Professional Service
- Construction Office
- Financial Institution
- Office
- Research and Testing
- Retail, Small
- Retail, Medium
- Retail, Large
- Automotive Center
- Automotive Repair Services, Major
- Fueling Station
- Motor Freight and Warehousing
- Motor Vehicle Sales, Leasing, or Storage
- Parking Lot
- Public Transportation Dispatch Facility
- Heavy Commercial Services
- Light Industry
- Recycling Transfer Facility
- Repair and Maintenance Shop
- Self Service Storage Facility
- Wholesale Facility
- Communications Tower



Traffic Impacts

Current St. Bridget Road SE AADT: 2,650 Vehicles per Day

45th Street SE AADT: No Data Available

Generation of Proposed Use: 1,058 Vehicles per Day

Planning-Level Roadway Capacity

Facility Type	Planning Level Daily Capacity Ranges (AADT)	Under Capacity				Approaching Capacity		Over Capacity
		LOS	A	B	C	D	E	F
		V/C	0.2	0.4	0.6	0.85	1.0	>1.0
Two-lane undivided urban	8,000-10,000	2,000	4,000	6,000	8,500	10,000	>10,000	
Four-lane divided urban (five-lane)	28,000-32,000	6,400	12,800	19,200	27,200	32,000	>32,000	



Existing & Future Environmental Features

- Existing farmland site
- Wetland investigation underway
- Floodplain, Decorah Edge are not present



Questions and Answers



Still have questions?

Contact the City of Rochester's Community Development Department with any questions about this application type via email communitydevelopment@rochestermn.gov or phone (507-328-2600).