

# Restoration Glen Apartments

Jeff Urban/Bear Creek Development Center

Tuesday, July 9th, 5:00 pm

# Overview

- Introductions
- About our Project
- The Application Process
- Exhibits:
  - Site Plan
  - Landscape Plan
  - Building Elevation
  - Photometric Plan
- Traffic Impacts
- Q&A

# Introduction

Brear Creek Development

Jeff Urban

Three Rivers Community Action

Laura Helle

LHB

Michelle Pribyl, Architect

Nikki Schlepp, Landscape Architect

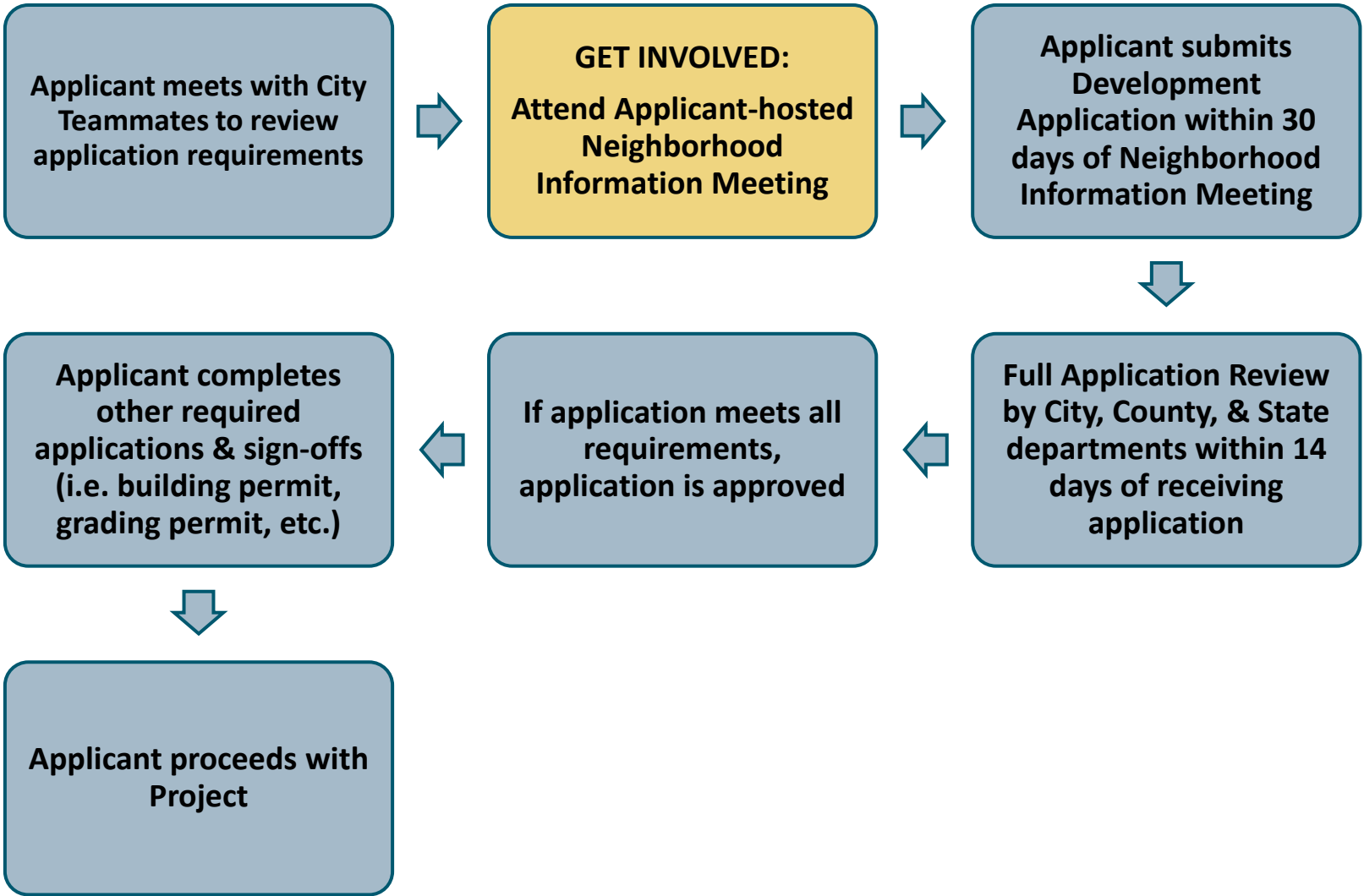
Melissa White, Civil Engineer

# About our Project

**Site location is:** 1712 Restoration Rd, Rochester, MN, 55902

Located along Mayowood Road, the proposed project provides 48 units of affordable housing, community and support spaces, as well as site improvements. The 3-story building is proposed to be constructed of wood framing and trusses, with below grade parking. Site improvements include parking, sitting areas, a playground, and landscaping. The project also seeks compliance with the US Department of Energy Zero Energy Ready Homes program. Strategies to achieve compliance include a geothermal-source heating and cooling system, enhanced insulation, and LED lighting throughout.

# The Application Process



# Site Plan

Building Height: 37'-0"

Floor Area Ratio (FAR):

.96 FAR Proposed

1.5 FAR Max

Parking:








Lower Level Parking: 42 Stalls

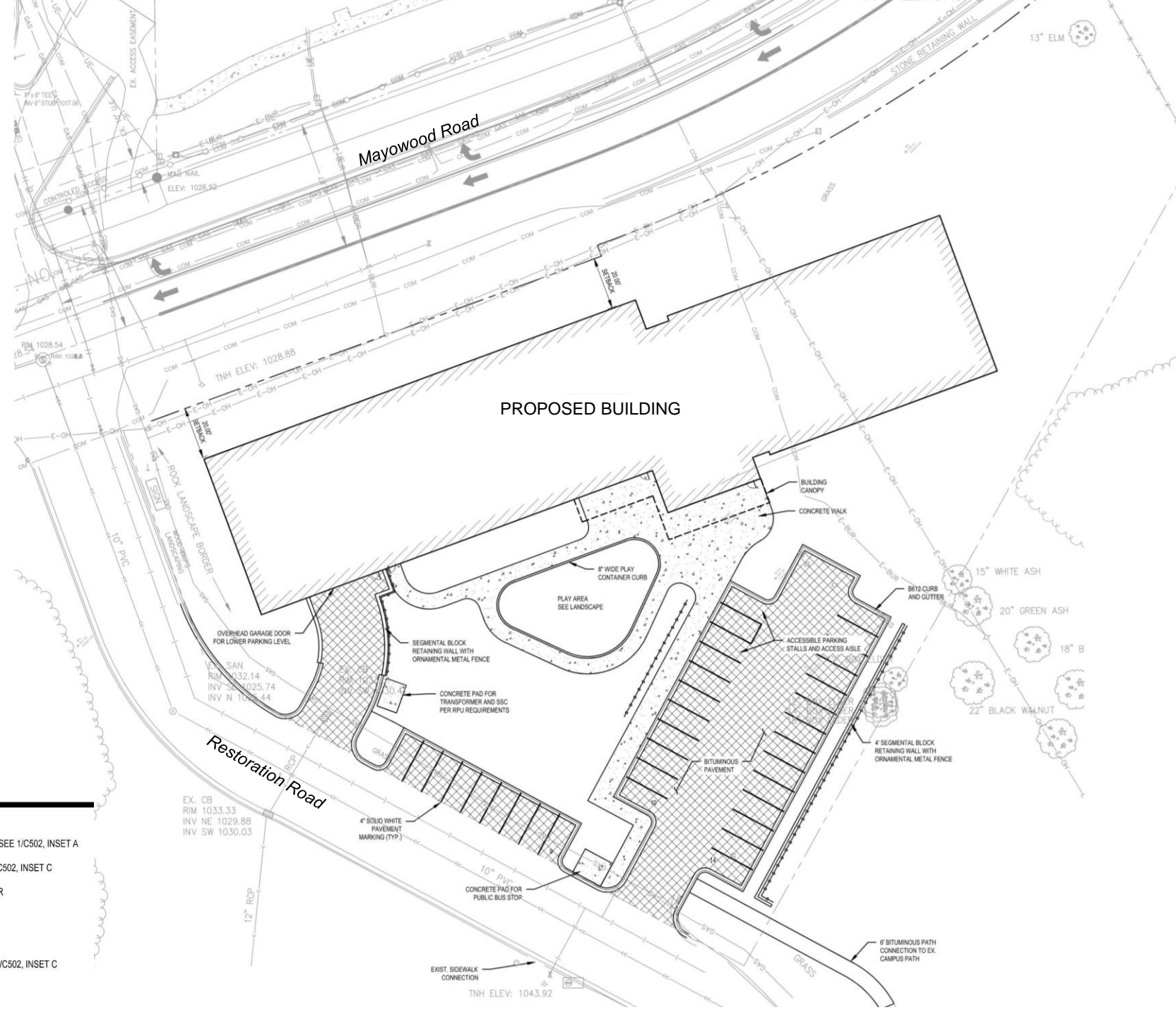
Site Parking: 24 Stalls

Total: 66 Total Stalls

(1.375 Parking Ratio)

## LEGEND






-  CONSTRUCTION LIMITS
-  BITUMINOUS PAVEMENT. SEE 1/C502, INSET A
-  CONCRETE WALK. SEE 1/C502, INSET C
-  REVERSE CURB & GUTTER
-  FENCE
-  TRUNCATED DOMES
-  BITUMINOUS TRAIL. SEE 1/C502, INSET C

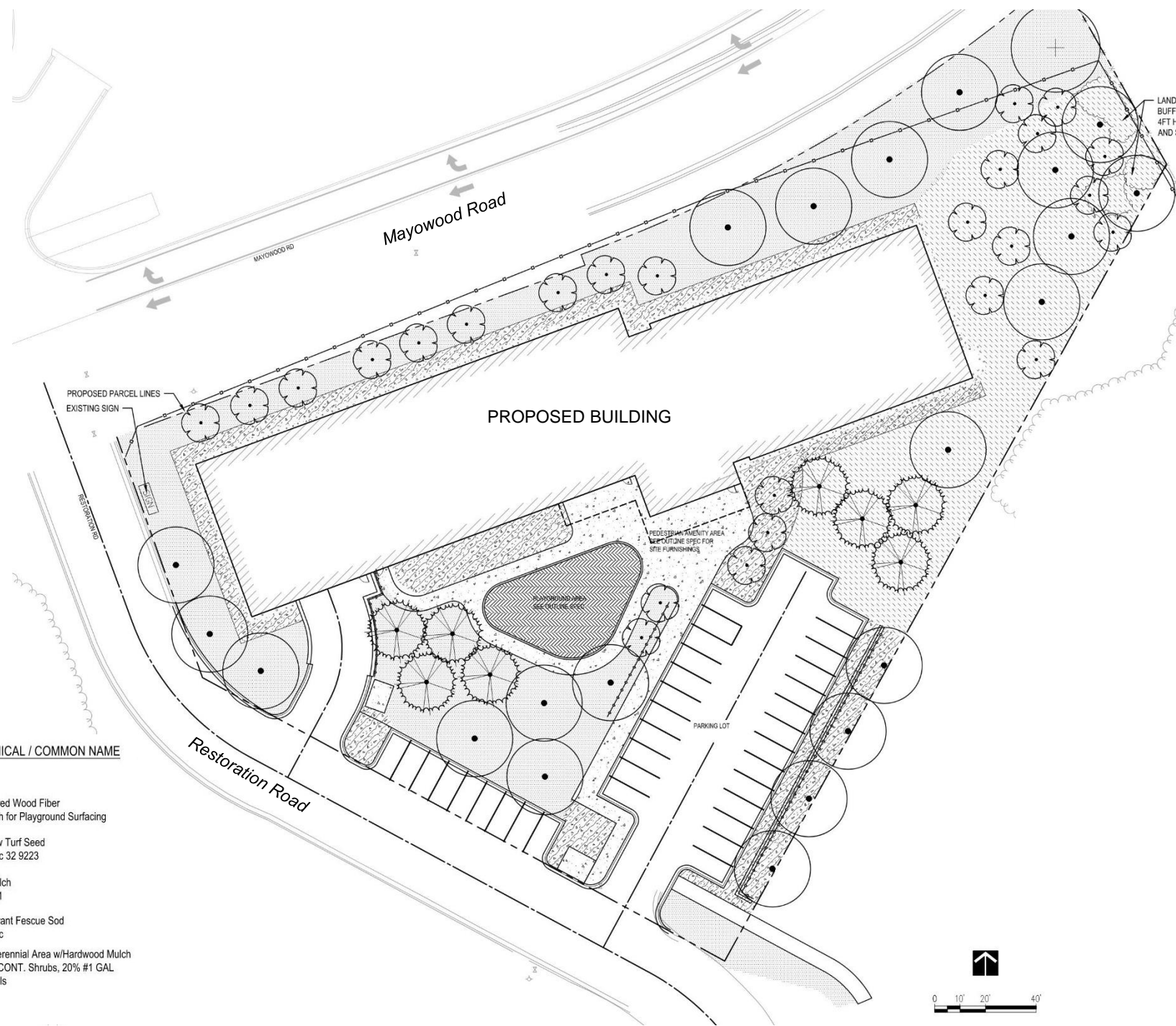


# Landscape Plan

Landscape improvements include increased green space, native plantings, and a landscape buffer at the northeast portion of the site.

The project will also include a playground and patio area with outdoor seating for building residents.

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
<b>GROUND COVERS</b>			
	EFW	1,781 sf	Engineered Wood Fiber 12" Depth for Playground Surfacing
	LM	12,536 sf	Low-Mow Turf Seed See Spec 32 9223
	RM	1,166 sf	Rock Mulch See L501
	TS	18,358 sf	Salt-tolerant Fescue Sod See Spec
	SP	7,614 sf	Shrub/Perennial Area w/Hardwood Mulch 80% #5 CONT. Shrubs, 20% #1 GAL Perennials



# Building Elevation

The building design is timeless; it's designed in a transitional style that isn't overly traditional but also isn't too minimal or overly modern.

Bays are spaced along the elevation to meet zoning criteria and create an expanded living space in as many units as possible. There is a generous amount of large windows on every elevation of the building. A large canopy reaches out from the entry toward a vehicle drop off, it also wraps the corner providing a covered seating space for residents.





# Building Elevation



1 South Elevation

3/64" = 1'-0"



2 East Elevation

3/64" = 1'-0"



2 North Elevation

3/64" = 1'-0"

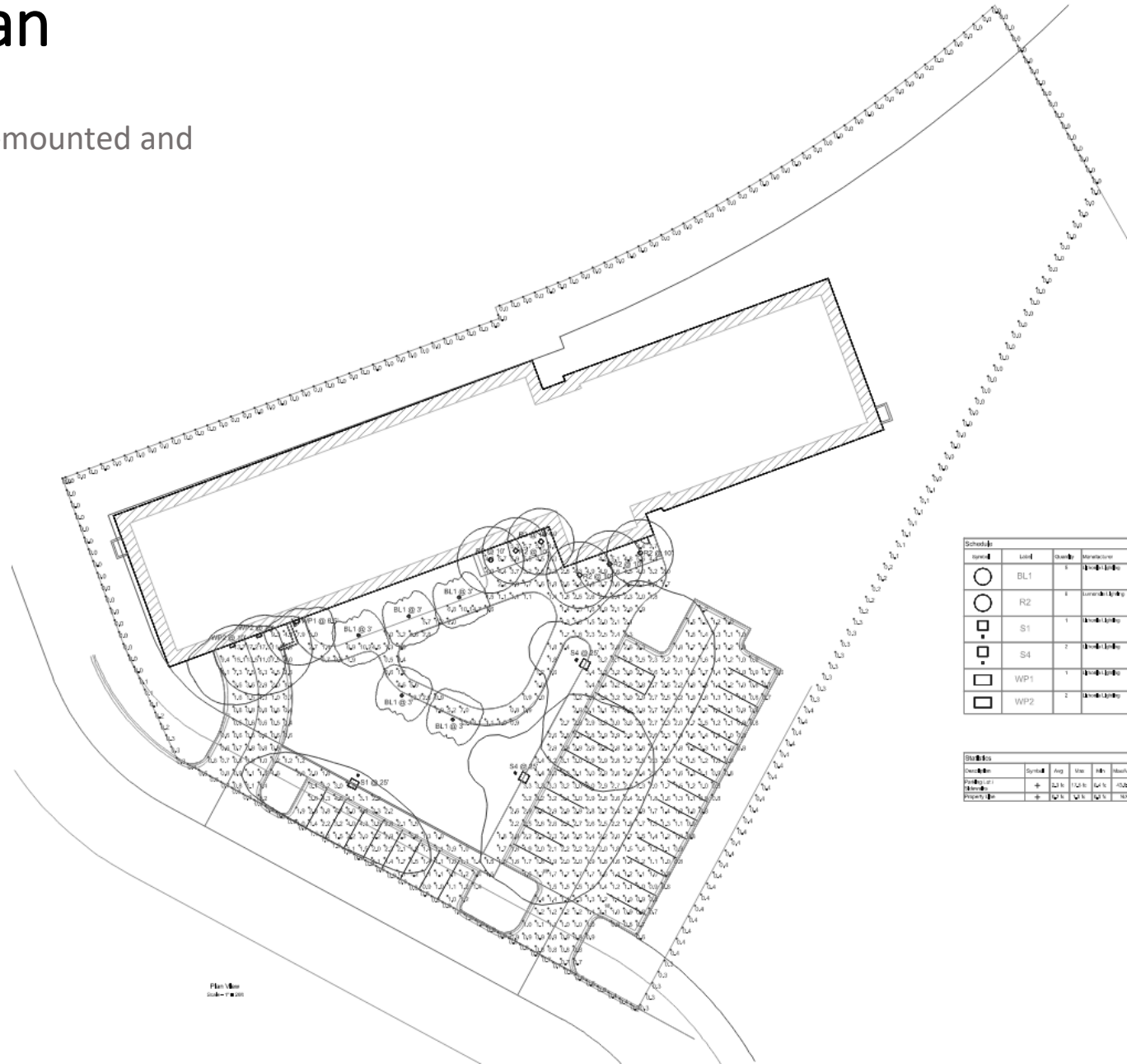


1 West Elevation

3/64" = 1'-0"

# Photometric Plan

The site will feature new pole-mounted and building-mounted fixtures.



Symbol	Label	Quantity	Manufacturer	Color/Temperature	Beam Spread	Mounting	Number	Notes	Lumens Per Fixture	Beam Loss Factor	Package
○	BL1	1	LED	3000K	120°	Building Mounted	1	3000K LED 200 W 4000lm	1200	1	10
○	R2	1	LED	3000K	120°	Recessed	1	3000K LED 200 W 4000lm	1200	1	10
□	S1	1	LED	3000K	120°	Pole Mounted	1	3000K LED 200 W 4000lm	1200	1	10
□	S4	2	LED	3000K	120°	Pole Mounted	1	3000K LED 200 W 4000lm	1200	1	10
▭	WP1	1	LED	3000K	120°	Wall Mounted	1	3000K LED 200 W 4000lm	1200	1	10
▭	WP2	2	LED	3000K	120°	Wall Mounted	1	3000K LED 200 W 4000lm	1200	1	10

Symbol	Sum	Avg	Min	Max	Avg
○	+	2.3	1.2	4.2	2.2
□	+	1.5	0.8	3.5	1.5

Plan View  
Scale: 1" = 100'

Q&A

# Still have Questions?

Contact the City of Rochester's Community Development Department with any questions about this application type via email [communitydevelopment@rochestermn.gov](mailto:communitydevelopment@rochestermn.gov) or phone (507-328-2600).