

Tom Kadlec KIA

Presentation by G-Cubed, Inc. on behalf of

CD14, LLC

June 10th, 2024

Overview

- Introductions
- About our Project
- The Application Process
- Exhibits:
 - Site Plan
 - Landscape Plan
 - Grading Plan
 - Building Elevation
 - Photometric Plan – plan is in design – will be added once complete
- Traffic Impacts
- Q&A

Introduction

Civil Engineer: G-Cubed, Inc.

Jason Kappers, EIT

Geoffrey G Griffin, PE

Architect: Gries Architectural Group Inc.

Leland Franke, Design Coordinator/Project Manager

Brannin Gries, AIA, NCARB, LEED AP, Principal Architect

Ownership: CD14, LLC

Tom Kadlec

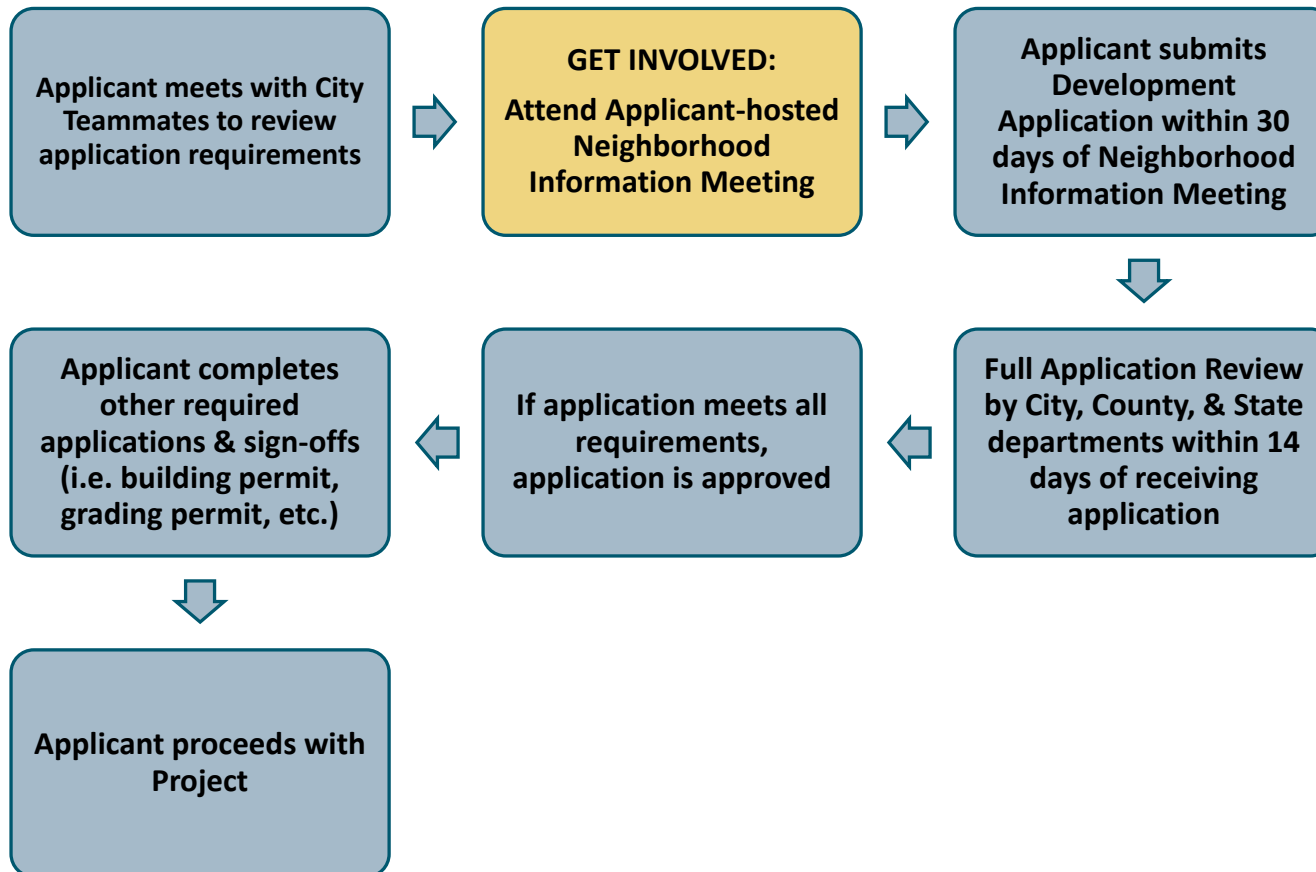
Tyler Kadlec

About our Project

Location: East of Tom Kadlec Honda (3333 Wilder Rd NW) & West of Tom Kadlec Auto Body (2953 Wilder Rd NW)

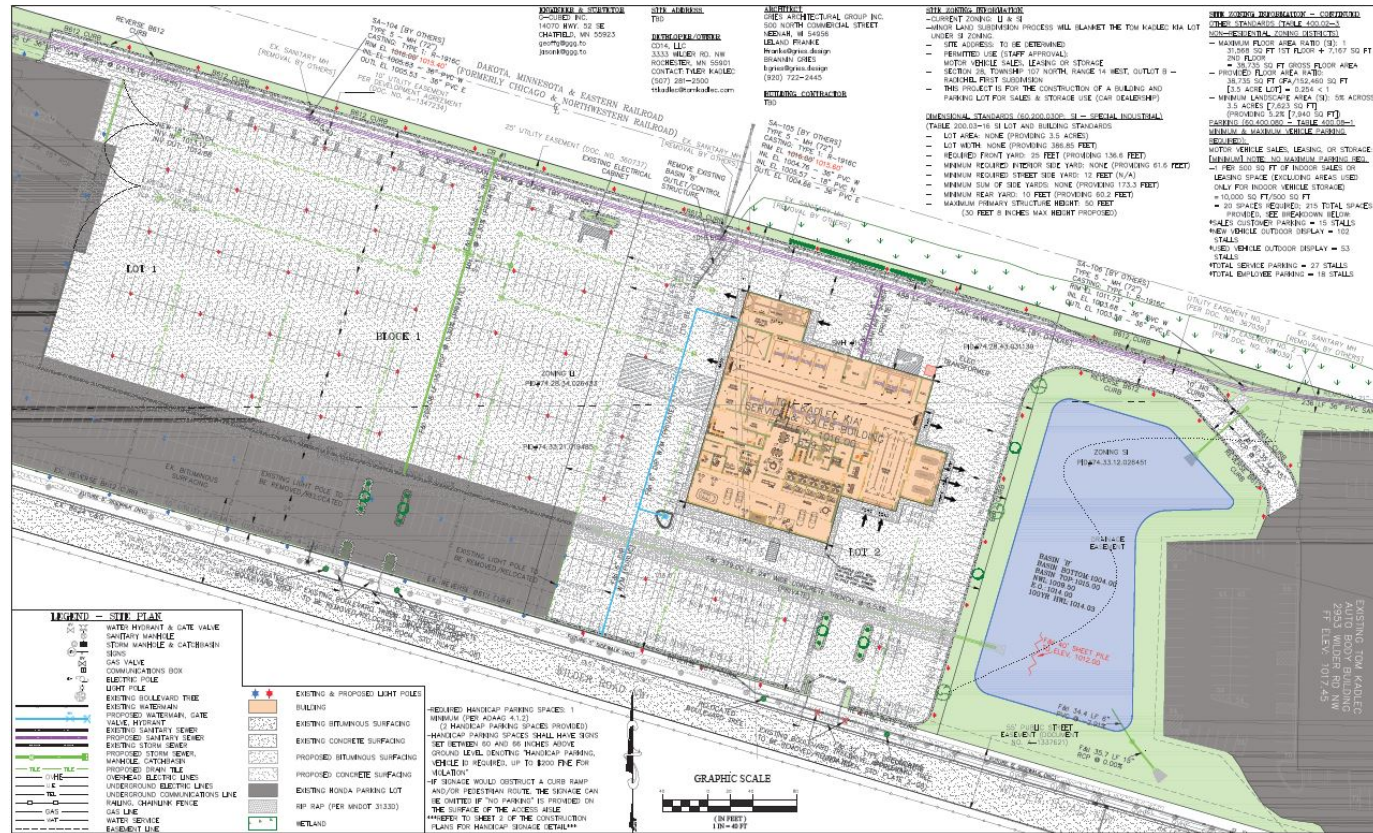
Proposal: The construction of approximately 31,700 ft² KIA sales and service building with associated parking and drive aisles. Interim grading and construction of the stormwater pond was completed throughout 2022-2023 in preparation of development

The Application Process



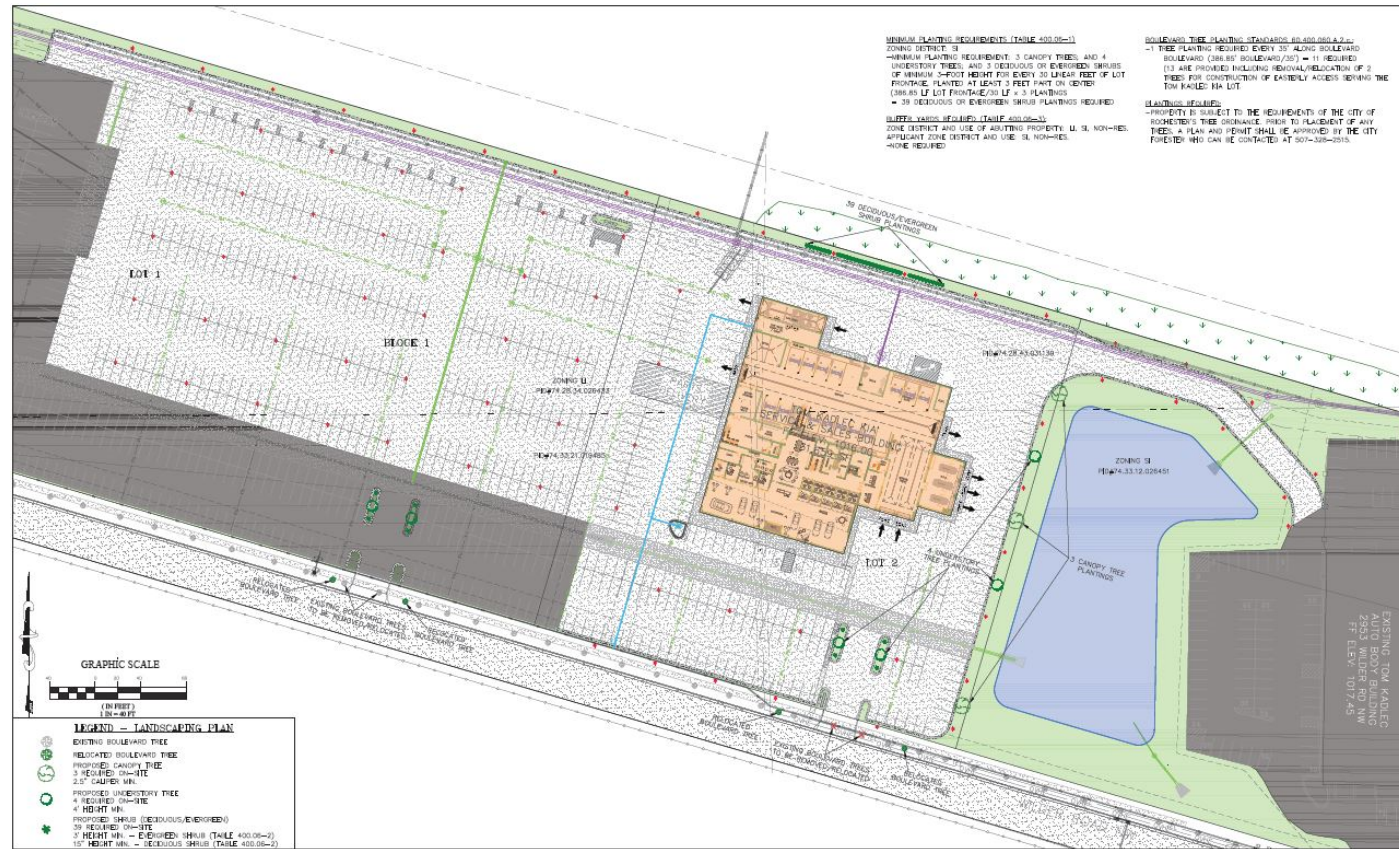
Site Development Plan

- Zoning: LI & SI
 - Light Industrial & Special Industrial (site will be SI with platting)
- Max Primary Structure Height = 50'
 - Proposed Max Height = 30'8"
- Dimensional Standards
 - Lot Area: None (providing 3.5 acres)
 - Lot Width: None (providing 386.85')
 - Front Yard: 25' (providing 136.6')
 - Interior Side Yard: None (providing 61.6')
 - Sum Side Yards: None (providing 173.3')
 - Rear Yard: 10' (providing 60.2')
- Maximum Floor Area Ratio (SI): 1.0
 - 31,568 ft² 1st Floor + 7,167 ft² 2nd Floor = 38,735 ft² GFA / 152,460 ft² = 0.254 < 1.0 FAR
- Parking Standards
 - Motor Vehicle Sales, Leasing or Storage: 1 per 500 ft² of indoor sales or leasing space (excluding areas used only for indoor vehicle storage)
 - = 10,000 ft² / 500 ft² -> 20 spaces required



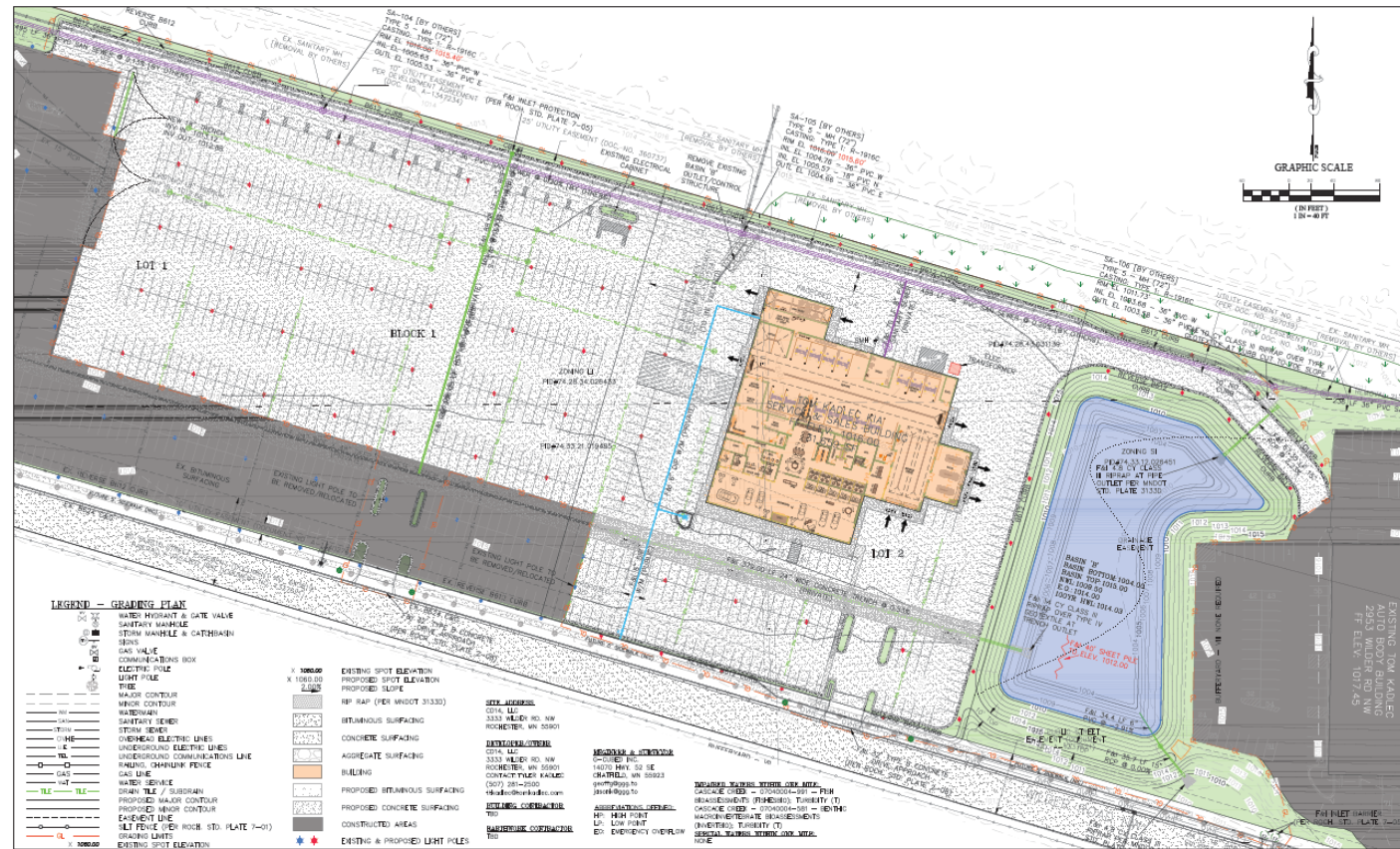
Landscape Plan

- Minimum Planting Requirement
 - 3 canopy trees, 4 understory trees & 3 deciduous or evergreen shrubs for every 30 linear feet of lot frontage (39 required)
- Buffer Yard Standards
 - Zoning district and use of abutting properties: LI, SI, Non-Residential
 - Applicant zoning district & use: SI, Non-Residential
 - No Buffer Yards Required
- Boulevard Tree Planting Standards
 - 1 tree planting required every 35' along boulevard
 - $386.85'/35' = 11$ required
 - 13 boulevard trees are provided including removal/relocation of 2 trees for construction of easterly access serving the Tom Kadlec KIA lot



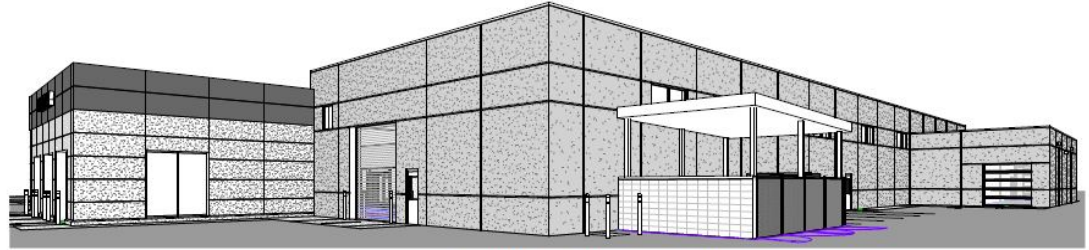
Grading Plan

- Grading concept: stormwater is directed to concrete trench drain and catchbasin
- Trench drain conveys flows from both Tom Kadlec Honda & Tom Kadlec KIA to stormwater pond east of the KIA building, west of the Auto Body building
- Stormwater Treatment & Rate Control
 - Pond provides the treatment required per NPDES & City Standards
 - Pond also provides rate control such that rates of runoff do not exceed predevelopment conditions under the 2-, 10-, and 100-year events





3D VIEW - NORTHWEST CORNER



3D VIEW - NORTHEAST CORNER

Building Elevations



3D VIEW - SOUTHWEST CORNER



3D VIEW - SOUTHEAST CORNER

Traffic Impacts

- Two new accesses are proposed off of Wilder Rd NW to provide access to both the Tom Kadlec Honda & Tom Kadlec KIA sites
- Tom Kadlec KIA & Auto body sites are proposed to be connected via an internal access north of the stormwater pond to maintain traffic flow on-site between the businesses and off of Wilder Rd NW
- Traffic Generation – Trip Generation Manual 10th Edition
 - 882 daily trips
 - 68 trips AM peak hour
 - 84 trips PM peak hour

Q&A

Still have Questions?

Contact the City of Rochester's Community Development Department with any questions about this application type via email communitydevelopment@rochestermn.gov or phone (507-328-2600).