

CIVIC SQUARE APARTMENTS AMENDED SDP

Meeting at

5:00 PM on 5/30/2024

101 Civic Center Dr NE, Rochester, MN 55906

Presented by Tyler Mandler of WSE Massey Engineering & Surveying

Overview

- Introductions
- About our Project
- The Application Process
- Exhibits:
 - Site Plan
 - Landscape Plan
 - Building Elevation
 - Photometric Plan
- Traffic Impacts
- Q&A

Introduction

Architect: CRW Architecture & Design

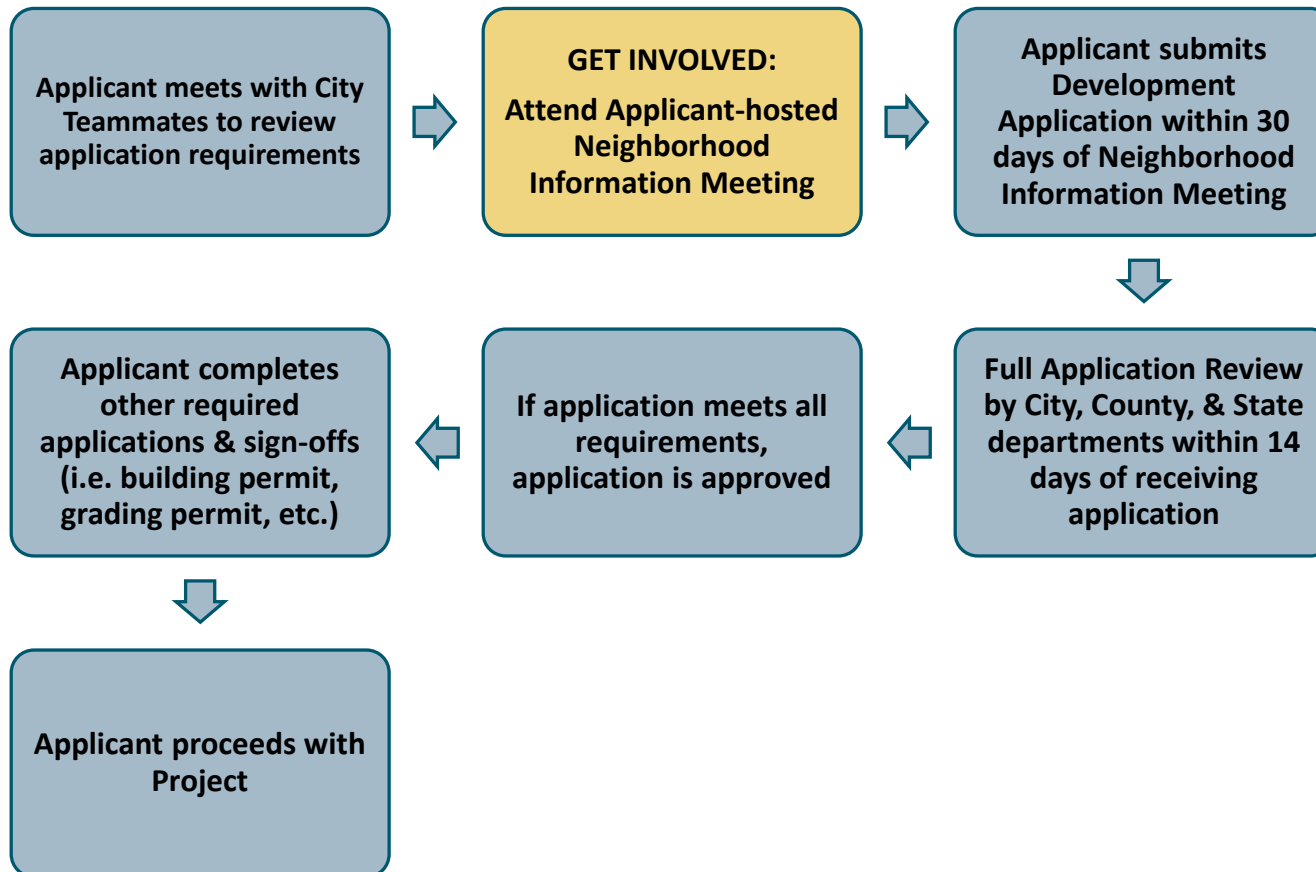
Planner & Civil Engineer: WSE Massey Engineering & Surveying

About our Project

Site renovation to enclose the understory driveway space into community spaces.

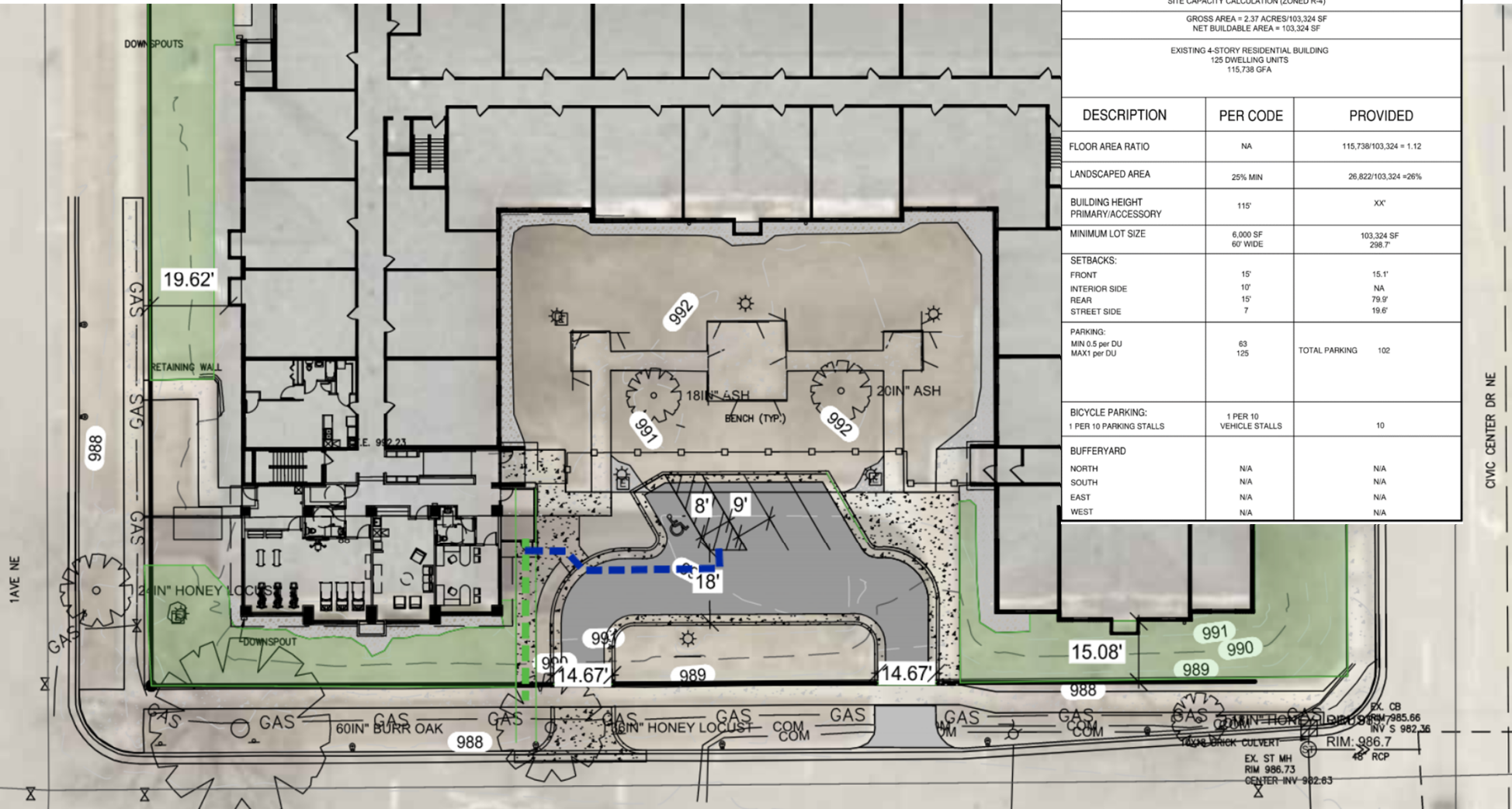
Reconfiguring the existing parking lot (One-Way) to enter and exit onto 1st St. NE.

The Application Process



Site Plan

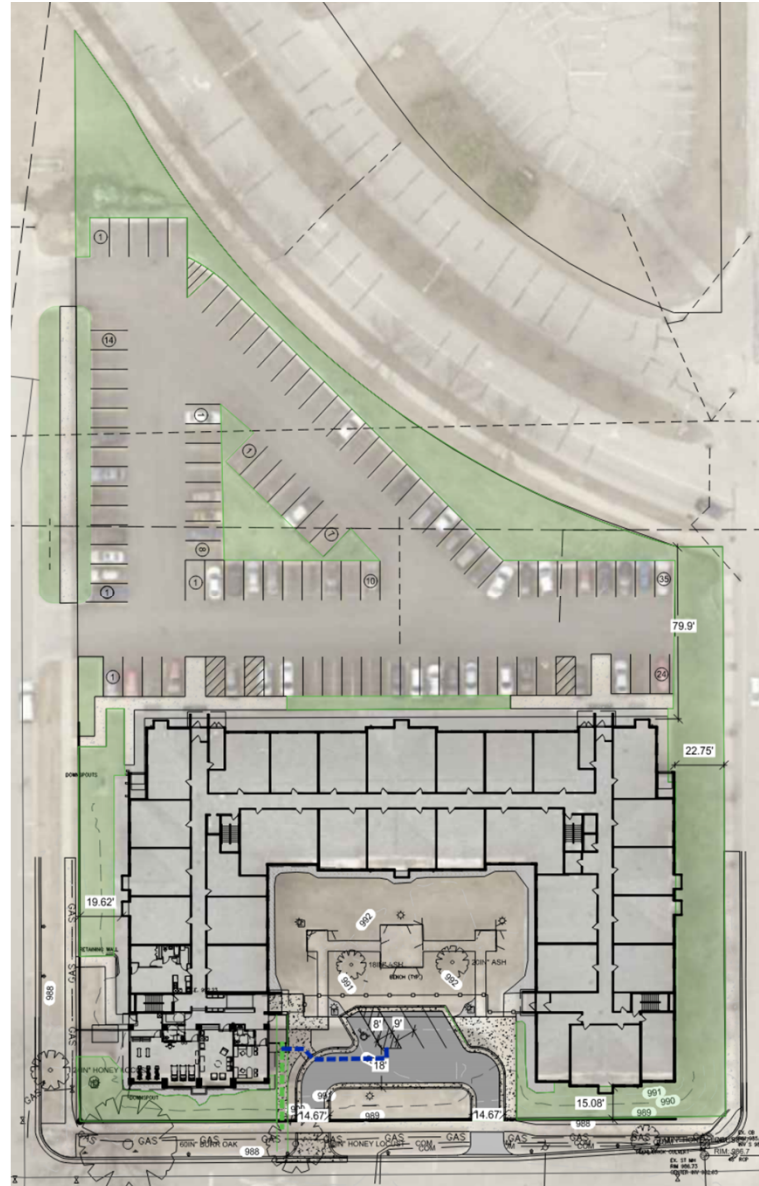
PROPOSED MULTI-FAMILY RESIDENTIAL STRUCTURE		
PARCEL ID: 743544048706		
SITE CAPACITY CALCULATION (ZONED R-4)		
GROSS AREA = 2.37 ACRES/103,324 SF NET BUILDABLE AREA = 103,324 SF		
EXISTING 4-STORY RESIDENTIAL BUILDING 125 DWELLING UNITS 115,738 GFA		
DESCRIPTION	PER CODE	PROVIDED
FLOOR AREA RATIO	NA	115,738/103,324 = 1.12
LANDSCAPED AREA	25% MIN	26,822/103,324 = 26%
BUILDING HEIGHT PRIMARY/ACCESSORY	115'	XX'
MINIMUM LOT SIZE	6,000 SF 60' WIDE	103,324 SF 298.7'
SETBACKS:		
FRONT	15'	15.1'
INTERIOR SIDE	10'	NA
REAR	15'	79.9'
STREET SIDE	7'	19.6'
PARKING:		
MIN 0.5 per DU	63	TOTAL PARKING 102
MAX 1 per DU	125	
BICYCLE PARKING:		
1 PER 10 PARKING STALLS	1 PER 10 VEHICLE STALLS	10
BUFFERYARD		
NORTH	N/A	N/A
SOUTH	N/A	N/A
EAST	N/A	N/A
WEST	N/A	N/A

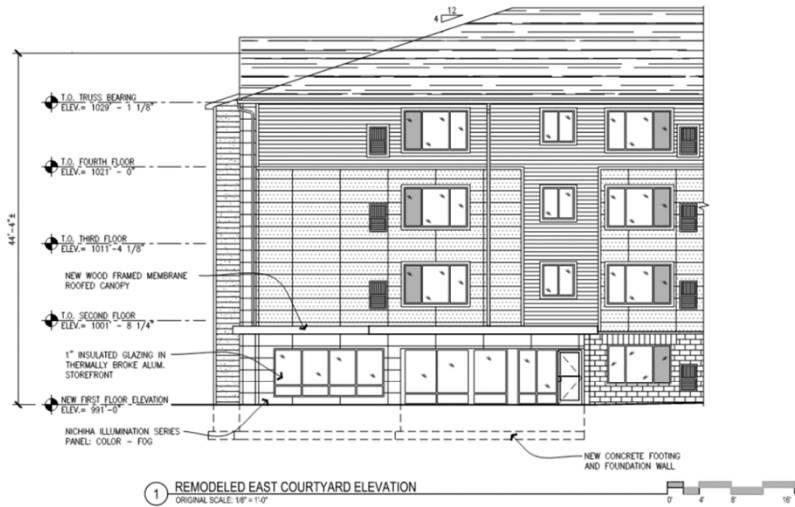


CIVIC CENTER DR NE

Landscape Plan

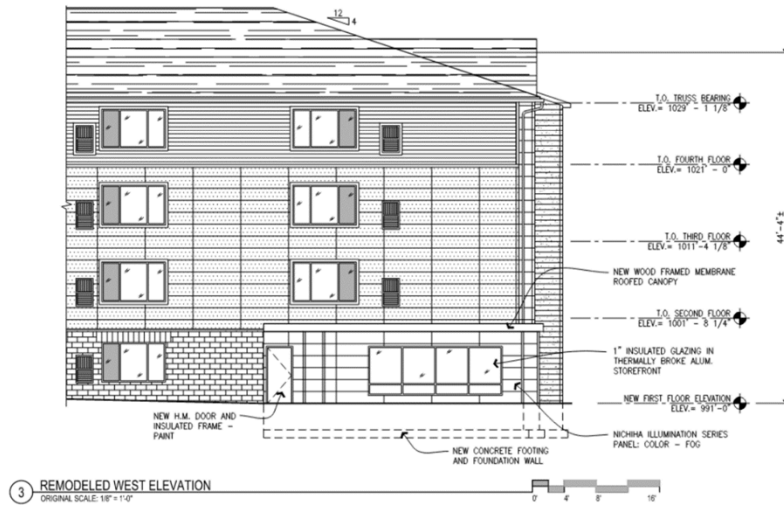
- Landscape area – 25% Required. (26% Existing)
- Boulevard Trees are in place and will be perpetuated or replaced as needed. One tree will need to be relocated on 1st St. NE for the proposed driveway outlet location as shown in the plan to the right.





Building Elevations

- Four stories.
- Approximately 38' 1" to bottom of truss elevation



Photometric Plan

- Existing lighting is in place and will not be modified with this application.

Traffic Impacts

- No new units are proposed with the renovation and no traffic impacts are anticipated.

Q&A

Still have Questions?

Contact the City of Rochester's Community Development Department with any questions about this application type via email communitydevelopment@rochestermn.gov or phone (507-328-2600).