



Planning & Zoning Commission Agenda
Rochester Boards & Commissions - Planning & Zoning Commission
October 11, 2023
6:00 p.m.

Attending and Viewing the Meeting

HYBRID Meeting: In-person at Council/Board Chambers of the Government Center, 151 4th Street SE, Rochester, MN, or via MS Teams.

[Click here to join the meeting](#)

Call in audio only number: 347-352-4853 Conference ID: 782 025 838#
A recording is made available after the meeting on the [City's website](#).

- 1. Open Public Comment Period**
- 2. Call to Order/Roll Call**
- 3. Order of Agenda**
- 4. Consent Agenda**

4.A. Minutes of September 27, 2023

Accepting the minutes and video of the September 27, 2023, Planning and Zoning meeting as the official record of the Planning and Zoning Commission.

5. Reports and Recommendations

5.A. Conditional Use Permit Amendment No. CD2023-003CUP-A by DM Companies (CityWalk)

Recommending approval of Conditional Use Permit Amendment #CD2023-003CUP-A, for the development of a twelve-story, 361-dwelling unit multi-family building, on a total of 0.76 acres with six conditions, located at the southwest corner of the 2nd St SW and 6th Ave SW intersection.

6. Public Hearings

6.A. Major Modification No. CD2023-010MOD by DM Companies (CityWalk)

Approving Major Modification No. CD2023-010MOD, to permit ten additional feet in height for a multifamily building (CityWalk), proposed at the southwest corner of the 2nd St SW and 6th Ave SW intersection.

7. Other Business

8. Adjournment



REQUEST FOR ACTION

Minutes of September 27, 2023

MEETING DATE:
October 11, 2023

ORIGINATING DEPT:
Community Development

AGENDA SECTION:
Consent Agenda

PRESENTER:
Chair

Action Requested:

Accepting the minutes and video of the September 27, 2023, Planning and Zoning meeting as the official record of the Planning and Zoning Commission.

Report Narrative:

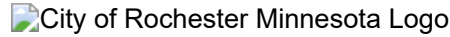
Minutes of September 27, 2023

Prepared By:

Maribeth Cooper

Attachments:

[CPZC Draft Minutes 2023-09-27](#)



**CITY OF ROCHESTER, MINNESOTA
Planning & Zoning Commission MINUTES**

Attending and Viewing the Meeting

1) Open Public Comment Period

2) Call to Order/Roll Call

Attendee Name	Status
Margaret R Brimijoin	Present
Randy R Schubring	Present
Alissa T Moe	Present
Aaron D Eberhart	Present
Joanne Crawford	Present
Jeremy C Andrist	Present
Jonathon P Krull	Present
Ruchi Gupta	Absent
Robert A Cline	Absent

3) Order of Agenda

MOVER: Aaron D Eberhart
SECONDER: Jonathon P Krull
AYES: None
RESULT: **APPROVED [UNANIMOUS]**

4.A) Minutes of August 23, 2023

Official Act: Accepting the minutes and video of the August 23, 2023, Planning and Zoning meeting as the official record of the Planning and Zoning Commission.

Cover Page

Minutes - August 23, 2023

Motion to approve the minutes and video of the August 23, 2023, Planning and Zoning meeting as the official record of the Planning and Zoning Commission.

MOVER: Aaron D Eberhart
SECONDER: Alissa T Moe
AYES: None
RESULT: **APPROVED [UNANIMOUS]**

5.A) Annual Rural Service District Review

Official Act: Recommending Council approve the Community Development proposed changes to the Rural Service District by removing five parcels that no longer meet the required criteria.

Cover Page

[Community Development Memo - Rural Service District](#)

[Rural Service District Parcels Payable 2024 - Rural Service District](#)

[Parcels To Be Removed List - Rural Service District](#)

[List "A" Site Location Map - Rural Service District](#)

[List "B" Site Location Map - Rural Service District](#)

[List "C" Site Location Map - Rural Service District](#)

Jase Pater gave the staff report.

Motion to approve a recommendation to Council to approve the Community Development proposed changes to the Rural Service District by removing five parcels that no longer meet the required criteria.

MOVER: Jonathon P Krull
SECONDER: Margaret R Brimijoin
AYES: None
RESULT: **APPROVED [UNANIMOUS]**

6) Public Hearings

6.A) Annexation Petition No. CD2023-005ANX by Meier Companies (The Blossom)

Official Act: Forwarding a recommendation of Approval to the Council, approving an Annexation by Ordinance for Application No. CD2023-005ANX, by Meier Companies, to incorporate a 5.13-acre site and change the zoning designation to Medium Density Residential (R-3), located south of 65th St NW and west of 37th Ave NW.

[Cover Page](#)

[CD Memo - CD2023-005ANX The Blossom](#)

[Notification Map - CD2023-005ANX The Blossom](#)

[Location Map - CD2023-005ANX The Blossom](#)

[Annexation Exhibit - CD2023-005ANX The Blossom](#)

[Narrative - CD2023-005ANX The Blossom](#)

[Review Comments - CD2023-005ANX The Blossom](#)

Desmond McGeough gave the staff report.

The Public Hearing was opened. Having no persons wishing to speak, the public hearing was closed.

Motion to approve forwarding a recommendation of Approval to the Council, approving an Annexation by Ordinance for Application No. CD2023-005ANX, by Meier Companies, to incorporate a 5.13-acre site and change the zoning designation to Medium Density Residential (R-3), located south of 65th St NW and west of 37th Ave NW per staffs facts and findings.

MOVER: Aaron D Eberhart
SECONDER: Jeremy C Andrist
AYES: None
RESULT: **APPROVED [UNANIMOUS]**

6.B) Zone Change CD2023-008ZC by the City of Rochester


Official Act: Forwarding a recommendation to Council approving City Initiated Zone Change No. CD2023-008ZC for the rezoning of parcels throughout the City where the underlying land use is not

consistent with the zoning, where the rezoning to MX-T will further the goals of the comprehensive plan, and where the rezoning to R-2X will further the goals of the comprehensive plan as well as reinforce equity through zoning.

[Cover Page](#) 

[CD Memo - CD2023-008ZC City Initiated Zone Change](#) 

[Public Comments - CD2023-008ZC City Initiated Zone Change](#) 

[Rezoning Exhibit - CD2023-008ZC City Initiated Zone Changes](#) 

Ryan Yetzer, Deputy Director of Community Development gave the staff report.

The Public Hearing was opened.

The following persons spoke:

Linda Freeman
John Hendrickson
Dr. Kenneth Philbrick
Polly Owens
Kelly Little
Alex B
Sasha Gentling
Mark Hubly
Doc Stead
Barry Skolnick
Sundeep Khosla
George Petty
Denise Peterson Perry
Martha Grogen
Mike Ackerman
Nicole Pearson
Anne Erie
Seth Barrons
Chris McGregor
Kerry Anderson
Nels Pearson
Gerald Rubin
Joe Doppler
Della Derscheid
Bobbi Pritt
Bruce Buckhart

The Public Hearing was closed.

Ryan Yetzer responded to citizen questions.

Discussion ensued between staff and commissioners.

Motion to accept and move forward with everything recommended by City Staff with the exception of the R2-X zoning district in Southwest Rochester.

Amendment to previous motion to state recommend forwarding a recommendation to Council approving City Initiated Zone Change No. CD2023-008ZC for the rezoning of parcels throughout the City based on the Community Development memo and attached proposed zoning map with the exception of the R-2X zoning district.

MOVER: Aaron D Eberhart
SECONDER: Jeremy C Andrist
AYES: Margaret R Brimijoin, Randy R Schubring, Alissa T Moe,
Aaron D Eberhart, Joanne Crawford, Jeremy C Andrist,
Jonathon P Krull
ABSENT: Ruchi Gupta, Robert A Cline
RESULT: **APPROVED [UNANIMOUS]**

7) **Other Business**

Discussion ensued between staff and commissioners regarding public hearing notification and availability of application information.

Commissioner Brimijoin spoke to affordable housing.

8) **Adjournment**

MOVER: Aaron D Eberhart
SECONDER: Jeremy C Andrist
AYES: None
RESULT: **APPROVED [UNANIMOUS]**



REQUEST FOR ACTION

Conditional Use Permit Amendment No. CD2023-003CUP-A by DM Companies (CityWalk)

MEETING DATE:

October 11, 2023

ORIGINATING DEPT:

Community Development

AGENDA SECTION:

Reports and Recommendations

PRESENTER:

Desmond McGeough

Action Requested:

Recommending approval of Conditional Use Permit Amendment #CD2023-003CUP-A, for the development of a twelve-story, 361-dwelling unit multi-family building, on a total of 0.76 acres with six conditions, located at the southwest corner of the 2nd St SW and 6th Ave SW intersection.

Report Narrative:

The applicant is proposing a Conditional Use Permit Amendment for the CityWalk Development located at the southwest corner of 2nd St SW and 6th Ave SW. This is the third iteration of the project and proposes a 12-story (125' high) multi-family building with 361-units and 228 underground parking spaces. This is an increase of 6 stories, 219 units, and 91 parking spaces from the plan set approved by the Council in 2022. Other minor changes to the amendment include replacing the first-floor residential units with enhanced amenity spaces, resulting in lowering of the glazing along the sidewalk to be more visually accessible from the public sidewalk and increasing the amount of glazing across the public facing elevations. Additional materials and landscaping elements, such as green trellises, have also been added to the north and west elevations.

The proposal maintains the same enhanced ground level features that were originally improved, including:

- Wider sidewalks with decorative paving;
- Enhanced pedestrian level entrance on 2nd Street with canopy element to a pedestrian-friendly level;
- Increased window glazing percentage and exterior lighting;
- Addition of wood materials to provide contrasting warmth and visual interest;
- Addition of a "pocket park" with a bench seating area between the building to the west and the northwest corner of the building;
- Additional pedestrian scale design elements such as plantings, landscaping, and seating along the sidewalk frontage; and
- Establishment of a pedestrian gateway node with strong visual connectivity at the street intersection by including more glazing with a large storefront presence, interior design elements having character and color, terrace like steps, seating elements, art, lighting fixtures, and plantings and warm wood materials to enhance the appeal of the space.

The site is zoned R4 (High Density Residential) and meets all zoning standards, except where modifications have already been granted through earlier plan approvals (setbacks).

The Development Review Team recommends approval of the Conditional Use Permit Amendment because the project meets building design requirements, is consistent with the surrounding areas, and will add additional density along 2nd St SW to facilitate LINK ridership.

Recommended Conditions of Approval

1. Prior to building permit submission, the applicant shall submit, materials confirming transparency, horizontal articulation, and “blank wall” requirements, subject to the review and approval of the Urban Design Coordinator.
2. The Fire Command Center shall meet the requirements in the Minnesota State Fire Code 2020 Chapter 5 Section 508.1 through 508.1.6.
3. The applicant shall revise construction plan documents to the satisfaction of RPU Electric and RPU Water.
4. All trees and large shrubs shall be planted a minimum of 10-feet away from water mains and water services and 15-feet away from fire hydrants.
5. The 8’ wide sidewalk section along 2nd St SW shall be extended along the entire frontage to the west property line.
6. The project shall comply with street boulevard tree planting standards.

The Conditional Use Permit requests runs concurrently with a Major Modification request to permit 10' additional feet in building height - essentially one additional residential story. The Major Modification request shall be reviewed and determined by the Planning Commission and will not be forwarded to the Council.

One Community Development Memo has been prepared that includes both the Conditional Use Permit Amendment application (CD2023-003-A) and the Major Modification application (CD2023-010MOD).

Priorities & Foundational Principles:

Economic Vibrancy & Growth Management
Environmental Stewardship

Policy Considerations & DEI Impact:

The proposed Conditional Use Permit achieves Comprehensive Plan Core Principles of Housing Diversity, Fiscal Sustainability, and Integration of Land Use and Transportation.

Prior Legislative Actions & Community Engagement:

January 19, 2022: Council Meeting - Approval of CityWalk CD2021-025CUP
May 16, 2022: Council Meeting - Approval of CityWalk Amendment CD2022-004CUP
September 11, 2023: Neighborhood Information Meeting

Fiscal & Resource Impact:

All development costs will be the responsibility of the developer and will be outlined in a Development Agreement and/or City-Owner Contract.

Alternative Action(s):

No alternative actions are suggested at this time.

Prepared By:

Desmond McGeough

Attachments:

[CD Memo - CityWalk 2023-029CUPA](#)

Notification Map - CityWalk CD2021-003CUPA

Location Map - CityWalk CD2021-003CUPA

Site Plan - CityWalk CD2021-003CUPA

Applicant's Exhibits - CityWalk CD2021-003CUPA

Applicant's Narrative - CityWalk CD2021-003CUPA

Review Comments - CityWalk CD2021-003CUPA

Rochester City Planning and Zoning Commission

October 11, 2023

Prepared by: Rochester Community Development

Request: Final Development Plan Conditional Use Permit Amendment #CD2023-003CUP-A by DM Companies for the development of a twelve story, 361 dwelling unit multi-family building, on a total of 0.76 acres (Council Approval)

Major Modification CD2023-010MOD to allow a 10-foot increase in height. (Planning Commission Approval)

Location: The site is located at the southwest corner of 2nd Street SW and 6th Avenue SW.

Property Owner & Consultant: DM Companies / Widseth- Logan Tjossem

Commission & Council Summary

Application Types: Conditional Use Permit Amendment & Major Modification

What is Considered: A Conditional Use Permit is a site plan review that evaluates the proposed use of a site based on compatibility with the neighborhood and surrounding uses, as well as confirms that all zoning and design standards of the district are met.

The Major Modification application procedure allow for adjustments or deviations from dimensional, numeric, and certain other standards of the UDC.

Major Modification Recommendation: Approval

Conditional Use Permit Recommendation: Approval, with the following conditions:

1. Prior to building permit submission, the applicant shall submit, materials confirming transparency, horizontal articulation, and “blank wall” requirements, subject to the review and approval of the Urban Design Coordinator.
2. The Fire Command Center shall meet the requirements in the Minnesota State Fire Code 2020 Chapter 5 Section 508.1 through 508.1.6.
3. The applicant shall revise construction plan documents to the satisfaction of RPU Electric and RPU Water.
4. All trees and large shrubs shall be planted a minimum of 10-feet away of water mains and water services and 15-feet away from fire hydrants.
5. The 8’ wide sidewalk section along 2nd St SW shall be extended along the entire frontage to the west property line.
6. The project shall comply with street boulevard tree planting standards.

Project Background

This is the third iteration of the proposed City Walk development. There have been two previously approved plans: CD2021-025CUP approved on January 19, 2022, and CD2022-004CUP-A on May 16, 2022. The first plan approval proposed 131 units within a seven-story building. The site of the first submittal consisted of three parcels totaling 0.5 acres. With the second iteration of the plan (CD2022-004CUP-A), the applicant acquired a parcel immediately to the south and increased the size of project. The second iteration encompassed 0.76 acres. The height of the project was reduced from 7 stories to 6 stories, and there was an increase in the number of dwellings to 142 units.

The site currently consists four lots located south of 2nd Street SW and west of 6th Avenue SW, which are zoned R-4 (Previously zoned Central Development Core-Residential under the LDM). The multifamily use is permitted under current R-4 zoning district. The subject site is located within the Destination Medical Center (DMC) district, as well as the East District of the Second Street Corridor Plan.

Due to a higher Floor Area Ratio (FAR) permitted in the CDC-RES zoning district, an Incentive Development Conditional Use Permit was required to permit the project to move forward. The **currently approved** plan (CD2022-004CUP-A), consists of a 6-story, 142 unit structure with two floors of underground parking and 142 parking spaces.

The approved project floor area and reduced setbacks were approved as trade-offs for providing additional project features which created a project that better aligned with the DMC Guidelines and the 2nd Street Corridor Plan. The approved application provides an enhanced project having pedestrian experience and corner activation. Approved enhancements included:

- Wider sidewalks with decorative paving.
- Enhanced pedestrian level entrance on 2nd Street with canopy element to a pedestrian-friendly level.
- Increased window glazing percentage and exterior lighting.
- Adding wood materials to provide contrasting warmth and visual interest.
- Adding a "pocket park" with bench seating area between the building to the west and the northwest corner of the building.
- Additional pedestrian scale design elements such as plantings, landscaping, and seating the along sidewalk frontage.
- Establishment of a pedestrian gateway node with strong visual connectivity at the street intersection by including more glazing with and large storefront presence, interior design elements having character and color, terrace like steps, seating elements, art, lighting fixtures, and plantings and warm wood materials to enhance the appeal of the space.

Current Amendment Application

This Amendment application preserves the grade level experience and design aesthetic of the approved plan. The amendment proposes a 12-story, 361-unit multi-family building

with underground parking (228 spaces), and a pool deck. The development still proposes to take pedestrian access from the east and north sides of the site. A pedestrian entrance and drop-off lane are located on the east side of the site.

Approval of the proposed Amendment and Major Modification will provide the same design elements as the currently approved plan, with an increase of 6 stories, 219 units and 91 parking spaces.

The applicant has submitted a Major Modification for consideration and approval of the Planning Commission that is running concurrently with this Conditional Use Permit Amendment application for a 10-foot increase in height, as permitted by Section 60.500.070 of the UDC for a total building height of 125 feet.

Other minor changes include replacing the first floor residential units with enhanced amenity spaces. This change resulted in lowering of the glazing along the sidewalk to be more visually accessible to the public and increasing the linear amount of glazing across the public facing elevations. Additional materials and landscaping elements such as green trellises have also been added to the north and west elevations.

Community Development Review

Zoning District: R-4 (High Density Residential)

Adjacent Land

North: R-4, Synagogue, residence associated with the Pathway House, 6 Story Hotel.
East: R-4, Trinity Evangelical Lutheran Church, 13 story Condominium
South: R-4, 10 Unit multi-family building
West: R-4, 3-story multi-family building

Public Infrastructure: Public facilities (Roadways, Sanitary Sewer, Water, and Storm Water Management) exist to service the site.

Flood Plain Wetlands & Decorah Edge: There are no wetlands, Decorah Edge or Hydric Soils upon the property. The property is within Flood Zone X.

Transportation: Approximately 300ft west of the site, there is a public transit stop. Across the street to the north is another transit stop, located outside of the B'nai Israel synagogue. The City of Rochester P2S Comprehensive plan identifies 2nd Street SW as a key segment of the Primary Transit Network (PTN), which will provide LINK Rapid Transit line access. Across 2nd Street, directly to the north, a rapid transit stop is proposed in the most recent plan.

Building and Site Design: The exterior of the building is composed of three colors; white, black and tan (wood). There are balconies on all the

building sides. The pool deck is located on the second floor of the building, on the west side. The building is 125 feet in height and is a “high rise” structure by definition. Automatic sprinkler systems in high-rise buildings shall comply with the 2020 Minnesota State Fire Code.

Heritage Preservation: The building located at 219 6th Ave SW proposed to be demolished to facilitate the proposed project does not have protective status with a preservation program at either the State or Federal level. The Heritage Preservation Commission considered potential designation at their April 26, 2022, meeting concluding the Commission would not further review it for possible historic landmark designation.

Boulevard Trees: Tree plantings within public right of way shall comply with Public Works Specifications and Standards for Tree Planting. Boulevard Trees will be specifically reviewed upon submittal of a separate planting permit as required.

Pedestrian & Vehicular Access: Vehicular access to the interior parking ramp will be from the west side through an adjoining alley that exits onto 7th Ave SW. There will also be a drop-off lane on the east side of the building along 6th Ave SW. The plan identifies a pedestrian access on the east side of the building, adjacent to the drop-off lane on 6th Avenue SE.

DMC District Design Guidelines and the 2nd Street Corridor Plan recommend pedestrian focal points and pedestrian oriented space. The site plan has accentuated the corner of the building with a terrace, plantings, artwork and seating, establishing a gateway pedestrian node. Additionally, decorative pavement has been applied on both 2nd Street SW and 6th Avenue SW.

Zoning Analysis

The base zoning of the site is R-4 (High Density Residential). The Destination Medical Center (DMC) Overlay, also applies to this site. The table below examines the compliance of the proposed development with the current R-4 zoning district standards.

The proposed Conditional Use Permit Amendment is required for the development because the proposal seeks to modify the number of permitted stories under the approved Plan from 6 stories to 12 stories. As noted in the table, there is previously approved modifications to setback requirements (Front, Side Street, Rear) approved under CD2022-004CUP-A which are of greater deviation than this amended plan proposal.

Standard	<u>R-4</u>	<u>Amended Plan Proposal</u>
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Maximum Height	115'	125' *
Setbacks (all sides)		
Front (N)	15'	6ft **
Side (W)	10' (combined)	22.6'
Side Street (E)	7'	4.1ft**
Rear (S)	15'	9.3ft**
Projecting Sign	Not permitted	81sq**
Density	None	475 DUPA
FAR	None	7.2 FAR
Landscape %	25%	26.1%
Recreation Area	24,036 sq.ft. (10%)	29,846 sq.ft. (12%)
Min/Max Parking	180 to 541 (0.5 -1.5 per unit)	228 (0.63 per unit)
<p>* CD2023-010MOD – Current request for Major Modification allowing 10 additional feet, subject to Planning Commission approval.</p> <p>** Incentive CUP Modification previously approved under CD2022-004CUP-A having greater extent</p>		

Building Design (UDC 60.400.070F):

This project appears to be able to meet all building design requirements. Additional information is still required to verify compliance prior to building permit approval. Additional measurements and written documentation is needed regarding transparency and horizontal articulation requirements. Additionally, some of the façade at the ground level might be characterized as having a “Blank Wall”. Submission of information is required identifying how the applicant intends to address these wall segments.

Conditional Use Permit Amendment Review

Council, shall approve a Conditional Use Permit if it determines that the proposed use will not create any of the following negative impacts. Staff findings in bold.

Criteria for Conditional Use Permit Approval - Section 60.500.050.A.4

1. Vehicular loading, unloading, parking, and vehicular or pedestrian circulation on the site will create hazards to safety or will impose a significant burden upon public facilities;

Vehicular loading, unloading, parking, and vehicle or pedestrian circulation on the site will not create hazards to safety or create a significant burden on public facilities. The development will take access from existing alley way which extends from the west side of the structure to 7th Ave SW. No direct vehicular access will

be provided to 2nd Street SW or 6th Avenue SW. A traffic Impact Study has been accepted for the project by the Public Works Team.

There is a designated drop off lane on the east side that can be utilized for unloading moving trucks. The intersection of 6th Avenue and 2nd Street SW will be redesigned to allow a safer and more efficient intersection for all modes of transportation.

The UDC requires that this project have a minimum of 180 parking spaces, whereas a total of 228 spaces have been provided.

2. The Site Development Plan does not provide pedestrian access to any customer/tenant ingress/egress of the building, including from a public right-of-way and off-street parking area that serves the use while minimizing non-vehicular/vehicular conflicts;

The Site Development Plan provides pedestrian access for tenant ingress and egress of the building, including from a public right-of-way, and also minimizes pedestrian and vehicular conflict. Vehicle entry to the garage is separated from high pedestrian traffic areas by taking access from the rear alleyway, which connects to 7th Ave SW, a local street having less traffic load. High traffic pedestrian corridors of 2nd Street and 6th Avenue have been augmented with a wider 10-foot sidewalk and 8-foot sidewalk respectively.

The primary entrance on 6th street side has been enhanced with a cantilevered projection that provides protection from the elements and emphasizes the entry location of building. The entry is further complemented by a gateway node encompassing terrace like steps that gradually step down to create a strong connection between the public corner and the building edge which allows seating, art, and plantings to occur at this highly visible corner, creating a sociable plaza like space for pedestrians.

3. The operation of the use will create significant negative impacts on the surrounding area or will impose undue burdens on the sewers, sanitary and storm drains, water, or similar public facilities;

The utility infrastructure is adequate for the proposed 12-story apartment building. The operation of the use will NOT create significant negative impacts on the surrounding area or impose undue burdens on the sewers, sanitary and storm drains, water, or similar public facilities. Goals and policies of the City of Rochester encourage higher density residential development downtown.

With the LINK Station just across the street from this location, higher densities make transportation investments made by the City a viable alternative to the automobile for people to get to-and-from work and necessary daily trips.

4. The application will create significant negative environmental impacts on the surrounding area;

The proposed use will not create significant environmental impacts on the surrounding area. Alternatively, the high-density project will help alleviate urban sprawl and reduce reliance on vehicles by providing a multifamily project within very near walking distance of concentrated employment opportunities.

5. The application or related Site Development Plan fails to comply with one or more previous use or development approvals for the property, including without limitation any Distinctive Development approval or General Development Plan applicable to the property; and/or

The application for the proposed use complies with the provisions of the R-4 district, except as noted in the staff report where previously approved modifications permits reduced setbacks and allows an 81 square foot blade sign to be placed on the building.

The R-4 district is intended to maintain and promote multifamily residential dwellings of the highest intensity along with certain supportive commercial and non-residential and civic uses of similar intensity. This district allows a height of 115 feet with the potential for an additional 10 feet through a Major Modification, resulting in a potential overall height of 125 feet. Previously, the property was in the CDC-RES (Central Development Core –Residential) Zoning District where approval was granted for a 107,759 SF, six-story, 142-unit apartment with underground parking, pool and other amenities.

This revised CUP Final Plan maintains the same high level of aesthetic quality and project amenities that previously added support for approval of the incentive development CUP. The Community Development Team finds the proposed façade treatment to be equal to or perhaps better than the previous approval.

6. The application or related Site Development Plan fails to comply with all applicable UDC regulations or other City adopted regulations applicable to the use or zone district in which the property is located, including but not limited to any Use-Specific Standard applicable to the proposed use in Section 60.300.020, unless a Minor Modification, Major Modification, or Variance permitting that deviation has been approved by the City.

The subject project received approvals for reduced setbacks, and an 81 square foot projecting sign. Other modifications were also approved as well, however with the adoption of the UDC standards for the R-4 district; those previous modifications

are no longer necessary. The applicant has submitted a modification request to increase the height of the structure 10 more feet than permitted under the R-4 district. The major modification request (CD2023-010MOD) is running concurrently with this proposed amendment of the CUP, which is subject to the consideration and approval of the Planning Commission.

If approved, the total height of the structure will be 125 feet. Other than previously approved modifications, the project complies with the R-4 district, the DMC guidelines and the UDC.

Major Modification Application Review
Major Modification for 10' height increase - Section 60.500.070B

The applicant has requested Major Modification for a 10-foot increase in building height as permitted by Section 60.500.070B (Flexibility and Relief).

Table 500.07-2 Standards Subject to Major Modification	
Code Standard	Potential Maximum Modification
Building Standards	
Building height (minimum maximum)	
Residential	10 ft.
All other	15 ft.

The Major Modification procedure is intended to allow for adjustments or deviations from dimensional, numeric, and certain other standards of the UDC. Major Modifications are intended to provide greater flexibility to adjust UDC standards without requiring the level of practical difficulties required for a Variance.

Criteria for Major Modification Approval - 60.500.070B.5

A requested Major Modification may be approved or approved with conditions if the Planning Commission finds that the modification:

- a. Addresses an unusual site constraint or unusual requirement of the proposed use or building that is not common to other lots, uses, or buildings in the surrounding area or is generally consistent with the Comprehensive Plan;

Approval of the subject request is consistent with Comprehensive Plan objectives. The Comprehensive Plan lays out a framework for integration of Land Use and Transportation, which includes establishing an increasing share of development towards the City core, enhancing sustainability and providing more efficient use of existing infrastructure investment. One implication of this approach is recognizing needed land use intensification required to support the goal of high frequency, high quality transit service. To succeed, a minimum level of housing and employment intensity along major transit corridors is needed.

This proposal will help support LINK and furthers the objectives of Comprehensive Plan Key Priorities such as Land Use and Transportation Integration, Fiscal Responsibility and expanding housing options.

- b. Will have no material adverse impact on any abutting lots, or any material adverse impact will be mitigated by conditions attached to the approval of the modification; **The request will have no material adverse impact on abutting lots and is consistent with the surrounding character of the urban core. The subject request for height increase is a reasonable.**

Nearby structures along 2nd Street SW includes the 13 story Rochester Tower Condominium, approximately 300 feet east of the site. On the north side of 2nd Street, is a 6-story hotel. Diagonally across the 2nd St. SW/ 6th Ave. SW intersection is the largest site within the Mayo Unbound Project, which encompasses two city blocks on the north side of 2nd Street and is anticipated to be much taller in stature than this 12-story structure. The request for height increase is compatible with the surroundings of the site and will not appear out of scale.

- c. Does not violate any conditions of approval previously applied to development of the property by the Planning Commission or the City Council; and **The subject request does not violate any previous conditions of approval.**
- d. Meets at least one of the following criteria:
 - 1) The modification will provide options for a more connected neighborhood layout or, for an adjustment for a residential subdivision, the adjustment will result in a neighborhood layout and level of multi-modal connectivity equal or better than would have been required without the adjustment; or
 - 2) The modification will result in equal or better screening and buffering of adjacent properties and ground and roof mounted equipment than would have been required without the adjustment; or
 - 3) The modification will not result in a material increase in on-street parking or traffic congestion on any local street in any Residential zone district within 200 feet of the applicant's site; and **The modification of one additional story will not result in a material increase of on-street parking or traffic congestion. Public Works has completed a review of the traffic volumes and issued a TIS waiver.**
- e. Does not result in:

- 1) A change in Permitted or Conditional Uses, or the allowed mix of uses, or the Use-Specific Standards in Section 60.300.020 applicable to any use in the zoning district where the property is located.
- 2) A deviation from building or fire codes;
- 3) A deviation from adopted engineering standards; requirements for public roadways, utilities, or other public infrastructure or facilities;
- 4) A further change to a development standard that has already been modified through an incentive as described in Section 60.400.120 or through any other procedure described in this UDC; or
- 5) A change to any standard or criteria in Section 60.200.040C HPO – Heritage Preservation Overlay, Section 60.200.040E FPO – Floodplain Overlay, or Section 60.200.040F SDO – Shoreland District Overlay, or any requirement of state or federal law.

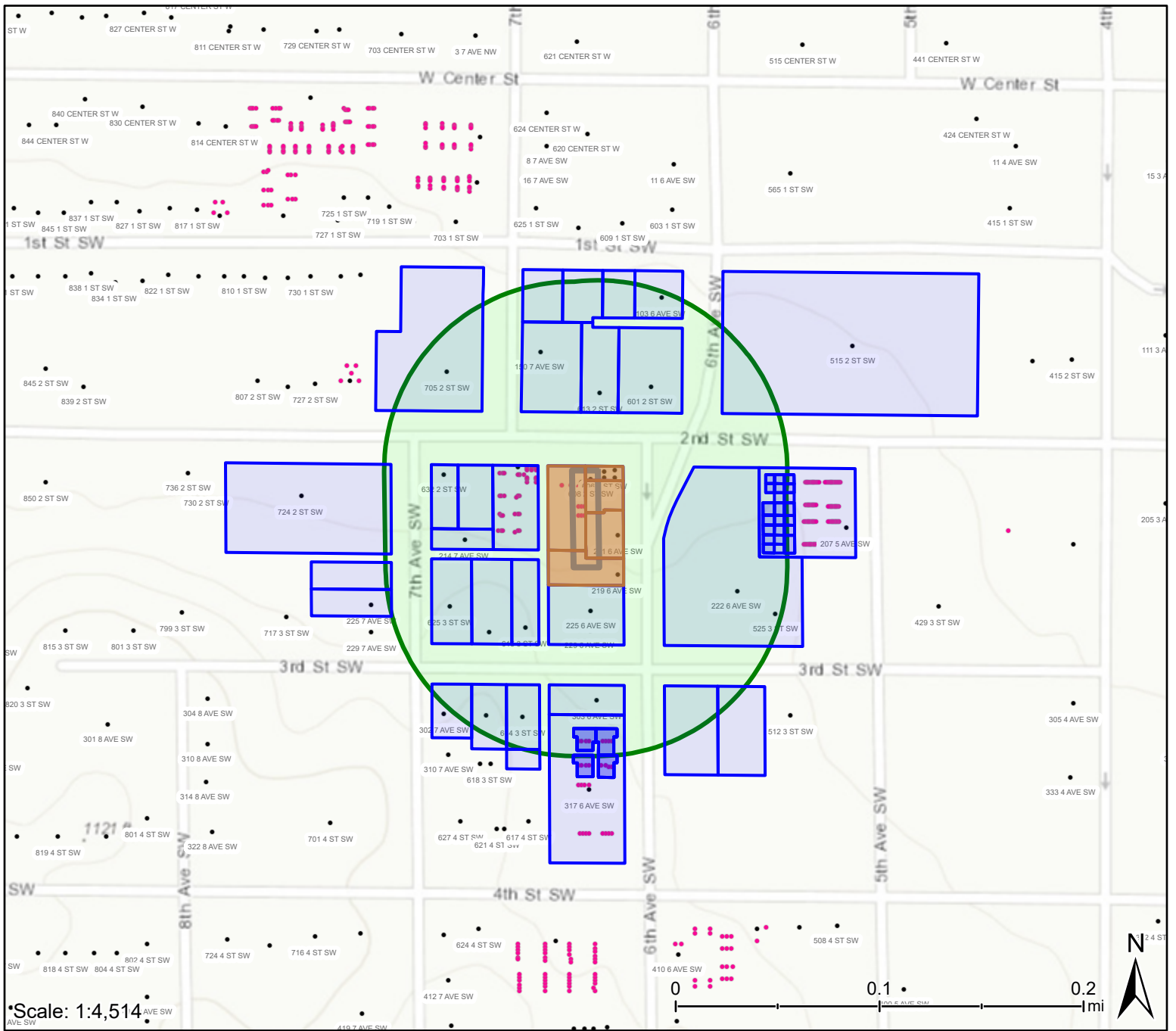
The proposed modification will not result in any of the above listed conflicts.

Attachments

1. Notification Map
2. Location Map
3. CUP Amendment Site Plan
4. Applicant Final Plans
5. Applicant project narrative
6. Review Comments

CD2023-003CUP-A/CD2023-010MOD City Walk Apts

9/18/2023 Olmsted County Geographic Information Systems



Legend

- Site
- Parcels
- Notification Area

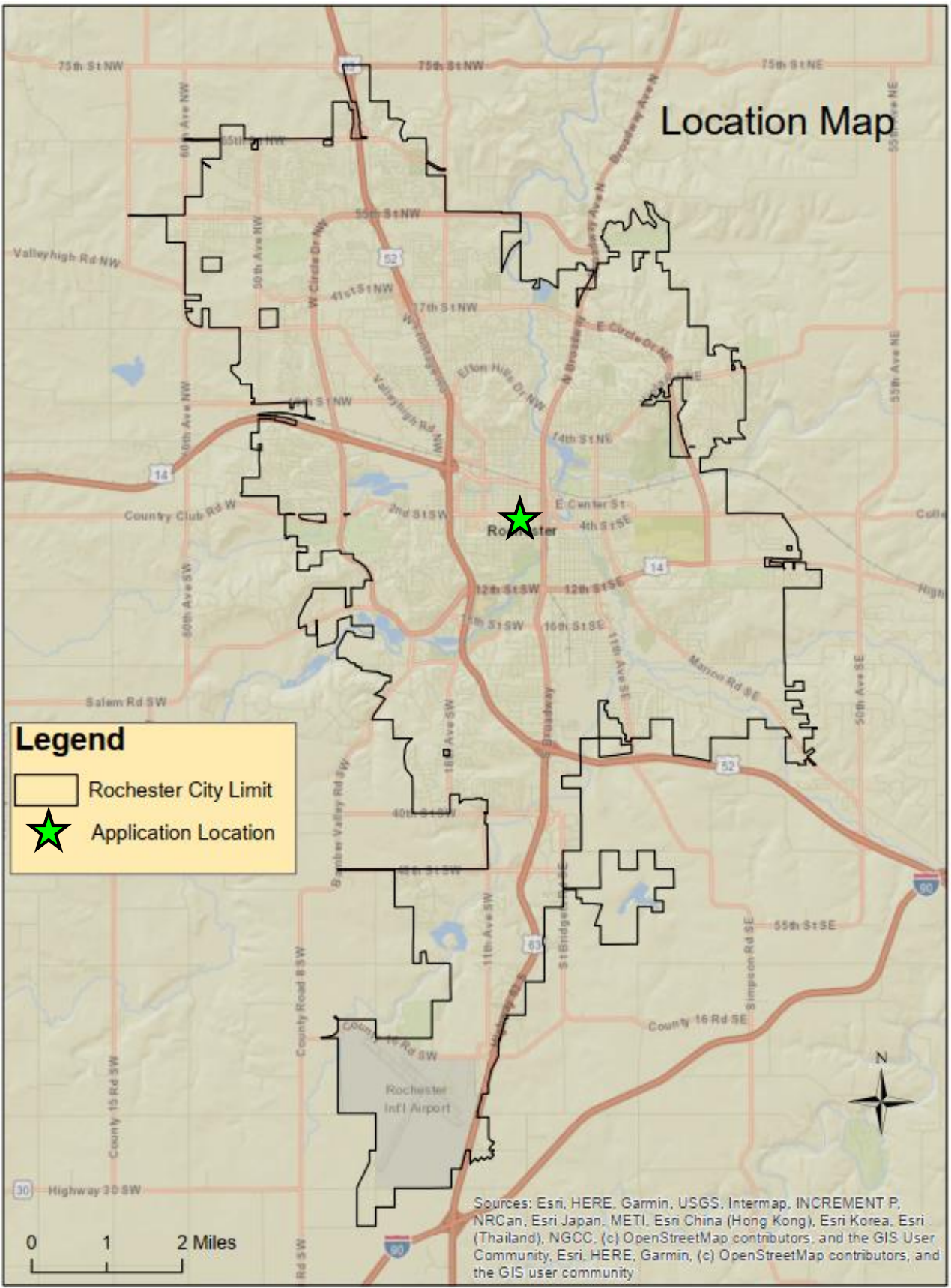
Conditional Use Permit Amendment- Incentive Development Final Plan CD2023-003CUP-A, and associated Major Modification application CD2023-010MOD for increased height, to be known as City Walk Apartments, by DM Companies, for the development of a 12-story, 361-dwelling unit multi-family building, on a total of .76 acres within a R-4 zoning district. The site is located at the southwest corner of 2nd Street SW and 6th Avenue SW.
 Notification Area: 350'
 Parcels: 009439, 009441, 009444, 009443, 081804
 Ward 2; Historic Southwest Neighborhood



Location Map

Legend

-  Rochester City Limit
-  Application Location



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

ZONING SUMMARY INFORMATION		
PARCEL ID(s):	64.02.21.009441, 64.02.21.009439, 64.02210094	
CURRENT ZONING DISTRICT:	R-4	
PROPOSED USAGE:	MULTI-FAMILY	
LOT AREA:	33,186 SF	
LOT ACREAGE:	0.76 ACRES	
	ORIGINALLY PROPOSED	AMENDED
# OF UNITS:	142	361
MAX DENSITY:	187 UNITS/ACRE	475 UNITS/ACRE
MAXIMUM FLOOR AREA RATIO:	3.25 FAR	7.24 FAR
GROSS BUILDING AREA:	85,586 SF	*240,364 SF
SETBACKS:		
FRONT YARD:	6 FT	6 FT
SIDE YARD:	16 FT	18.5 FT
SIDE STREET SIDE YARD:	4 FT	4.1 FT
SUM OF SIDE YARDS:	20 FT	22.6 FT
REAR YARD:	8.3 FT	9.3 FT
LANDSCAPE PERCENTAGE:	*26% (49%)	*26% (49%)
LANDSCAPE AREA:	8,660 SF	8,660 SF
RECREATION SPACE PERCENTAGE:	8%	12%
RECREATION AREA:	7,168 SF	29,846 SF
MIN. LOT SIZE:	33,186 SF	33,186 SF
EXTERIOR LIGHTING:	R	R
SIGN REGULATIONS:	BLADE SIGN (81 SF)	BLADE SIGN (81 SF)
EXTERIOR STORAGE:	NONE	NONE
BUFFERYARD INDICATOR:	IV	IV
MAX. PERMITTED HEIGHT:	94 FT 6 IN	*125 FT
OFF-STREET PARKING:	137	250

*GROSS BUILDING AREA: DOES NOT INCLUDE GARAGE SF
 *LANDSCAPE PERCENTAGE: 26% OF THE SITE AREA (49% OF THE PROJECT AREA)
 *MAX PERMITTED HEIGHT: 115 FT BY RIGHT, MAX 125 FT FOR MAJOR MODIFICATION

PROPOSED FEATURES LEGEND

	PROPOSED CONCRETE
	PROPOSED EXPOSED AGG CONCRETE
	PROPOSED BITUMINOUS
	PROPOSED BUILDING
	PROPOSED CURB STOP
	PROPOSED GATE VALVE
	PROPOSED CURB STOP
	PROPOSED 90° BEND, TEE, REDUCER
	PROPOSED BOLLARD (SEE DETAIL)
	PROPOSED STORM INLET
	PROPOSED SANITARY CLEANOUT (SDP 1-06)
	PROPOSED WATER SERVICE
	PROPOSED STORM SEWER
	PROPOSED DRAIN TILE
	PROPOSED SANITARY SERVICE
	PROPOSED WATERMAIN
	PROPOSED RETAINING WALL
	PROPOSED GUARDRAIL

STREET SIGNS			
QUANTITY	DESCRIPTION	SIZE	SQ FT
1	YIELD SIGN	36" X 36" X 36"	3.7
1	SPEED LIMIT 30	24" X 30"	5
2	NO PARKING	18" X 18"	4.5
	TOTAL SIGN QUANTITY		13.2

EXISTING FEATURES LEGEND

	EXISTING BENCH MARK		EXISTING PROPERTY BOUNDARY
	EXISTING FLAG POLE		EXISTING LOT LINE
	EXISTING GUARD POST		EXISTING RIGHT OF WAY
	EXISTING SIGN SINGLE POST		EXISTING SECTION LINE
	EXISTING SHRUB		EXISTING FENCE CHAIN LINK
	EXISTING TREE DECIDUOUS		EXISTING FENCE WOOD
	EXISTING TREE CONIFER		EXISTING OVERHEAD ELECTRIC
	EXISTING SANITARY MANHOLE		EXISTING UNDERGROUND ELECTRIC
	EXISTING STORM MANHOLE		EXISTING OVERHEAD TELE
	EXISTING STORM INLET		EXISTING UNDERGROUND TELE
	EXISTING STORM CATCH BASIN		EXISTING SANITARY SEWER
	EXISTING YARD LIGHT		EXISTING SANITARY SEWER SERVICE
	EXISTING ELEC LIGHT POLE		EXISTING STORM SEWER
	EXISTING ELEC POLE		EXISTING UNDERGROUND GAS
	EXISTING ELEC METER		EXISTING WATERMAIN
	EXISTING TELE PEDESTAL		EXISTING WATERMAIN SERVICE
	EXISTING TELE HANDHOLE		EXISTING RETAINING WALL
	EXISTING GAS METER		EXISTING BUILDING WALL
	EXISTING GAS VALVE		EXISTING BITUMINOUS SURFACE
	EXISTING WATER HYDRANT		EXISTING CONCRETE SURFACE
	EXISTING WATER VALVE		EXISTING AIR CONDITIONER UNIT
	EXISTING WATER CURB STOP		

ITEM NOTES:

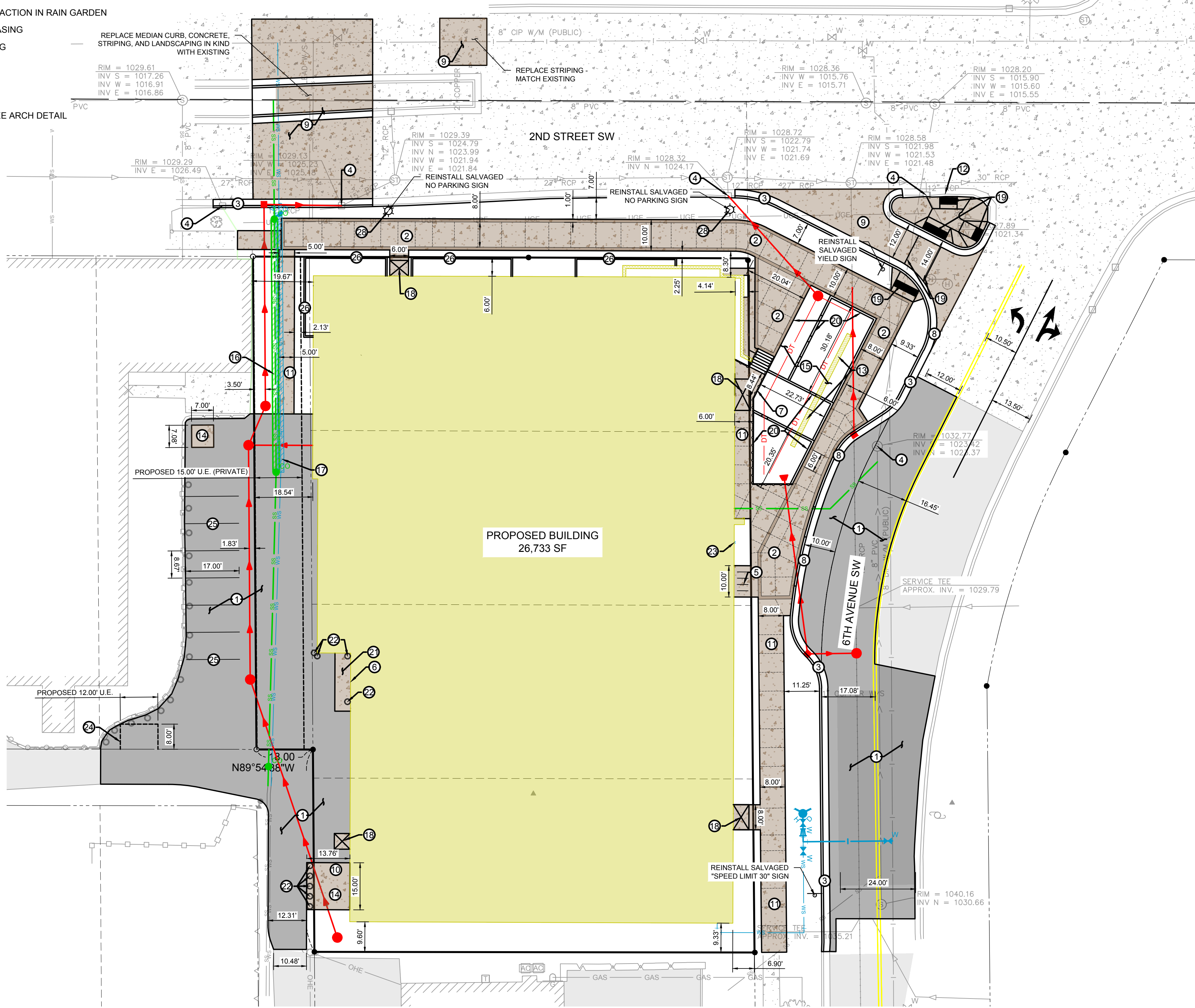
- 1 BITUMINOUS PAVEMENT - SEE TYPICAL SECTION
- 2 DECORATIVE EDGE CONCRETE SIDEWALK - 5" THICKNESS - SDP 2-10 VERIFY DESIGN WITH CITY ENGINEER BEFORE POURING
- 3 B-624 CONCRETE CURB AND GUTTER - SDP 2-01
- 4 PROTECT EXISTING STRUCTURE - ADJUST FRAME AND CASTING
- 5 BIKE RACK - SEE ARCH
- 6 PARKING GARAGE ENTRY
- 7 GUARDRAIL
- 8 SILL CURB - SDP 2-02
- 9 CONCRETE PAVEMENT - MATCH EXISTING
- 10 CONCRETE GENERATOR PAD
- 11 CONCRETE SIDEWALK - 5" THICKNESS - SDP 2-10
- 12 MATCH EX CURB CUT WITH PED RAMP
- 13 WEATHERED STEEL WATER SCULPTURE
- 14 CONCRETE TRANSFORMER PAD
- 15 RAIN GARDEN - AVOID HEAVY EQUIPMENT AND SOIL COMPACTION IN RAIN GARDEN
- 16 ENCASEMENT PIPE FOR SANITARY SERVICE - 12" STEEL CASING
- 17 ENCASEMENT PIPE FOR WATER SERVICE - 4" STEEL CASING
- 18 CONSTRUCT CONCRETE STOOP - SEE STRUCTURAL
- 19 F&I TRUNCATED DOMES
- 20 CAST IN PLACE CONCRETE WALL FOR RAIN GARDEN
- 21 CONCRETE DRIVE APRON - SEE CIVIL CROSS SECTION - SEE ARCH DETAIL
- 22 F&I BOLLARD - SEE DETAIL
- 23 FIRE DEPARTMENT CONNECTION
- 24 EASEMENT FOR NEW JUNCTION CABINET
- 25 4" SOLID WHITE LINE (PAINT)
- 26 6" CONCRETE CURB PLANTER EDGING
- 27 8" SOLID WHITE LINE (PAINT)
- 28 REINSTALL SALVAGED STREET LIGHT

UTILITY NOTES:

1. ALL WORK NEEDS TO BE COMPLETED BY A LICENSED CONTRACTOR WITHIN THE CITY OF ROCHESTER
2. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCHESTER SPECIFICATIONS AND DETAILS - LATEST EDITION.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY CONNECTION PERMITS FROM THE CITY OF ROCHESTER PUBLIC WORKS DEPARTMENT.
4. CONTRACTOR SHALL CONTACT RPU AND THE CITY OF ROCHESTER PRIOR TO START OF WORK (DISCONNECTION OF SERVICES AND INSTALLATION OF NEW SERVICES).
5. WATER SERVICE INSTALLATIONS SHALL CONFORM TO THE CURRENT VERSION OF THE MINNESOTA PLUMBING CODE CHAPTER 4715 AS ADOPTED BY THE CITY AND THE REQUIREMENTS OF RPU RULES AND REGULATIONS.



ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.

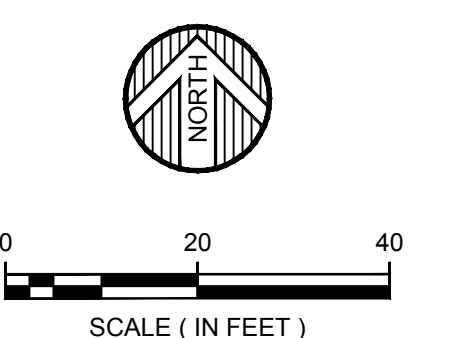


SITE ADDRESS: 610 2ND ST SW, 604 2ND ST SW, PARID 640221009439, 211 6TH AVE SW, ROCHESTER, MN 55902

PROPOSER: GMH COMMUNITIES, 10 CAMPUS BOULEVARD, NEWTON SQUARE, PA 190737, CONTACT: KEVIN LYDEN, PH: 610-600-1052, EMAIL: KLYDEN@GMHCOMMUNITIES.COM

ARCHITECT: MOMENTUM DESIGN GROUP, 755 N PRIOR AVE N #301A, ST. PAUL, MN 55901, CONTACT: JESSE HAMER, PH: (612) 859-5833, EMAIL: JESSE@MDGARCHITECTS.COM

CIVIL ENGINEER: WIDSETH SMITH NOLTING, 3777 40TH AVE NW, SUITE 200, ROCHESTER, MN 55901, CONTACT: CRAIG BRITTON, PH: (507) 206-2125, EMAIL: CRAIG.BRITTON@WIDSETH.COM



DATE: 08/23/2023, LIC. NO. 44228, CRAIG BRITTON

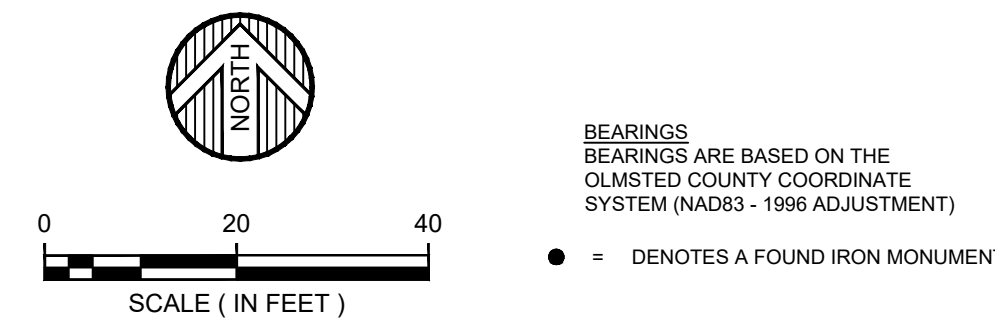
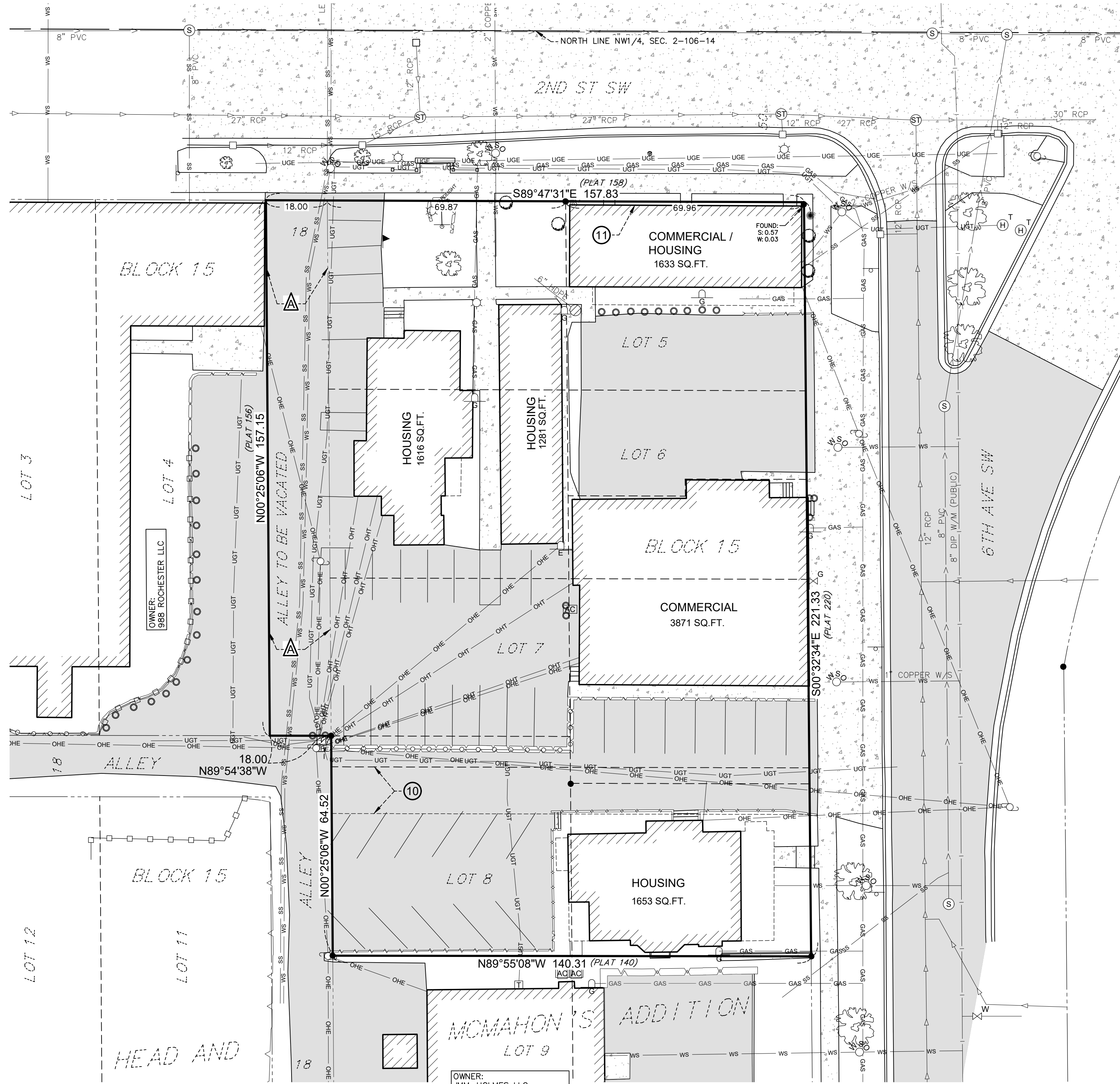
DATE	REVISION DESCRIPTION	BY
8-23-2023	12 - STORY UPDATES	A.A.P.

DATE: AUGUST 2023, AS SHOWN, DRAWN BY: A.A.P., CHECKED BY: C.N.B., JOB NUMBER: 2023-11183

ALTA/NSPS LAND TITLE SURVEY

PART OF BLOCK 15, HEAD AND McMAHON'S ADDITION

CITY OF ROCHESTER, OLMSTED COUNTY, MINNESOTA



PROPERTY DESCRIPTION

Per title commitment issued by Land Services USA, LLC, as agents for First American Title Insurance Company
 Parcels 1 through 5
 File Number: MNFA23-2796
 Commitment Date 07/18/2023

Parcel 1:
 The E 1/2 of Lot 5, and the E 1/2 of Lot 6, less a part of said Lot 6 described by metes and bounds as follows: Beginning at the southeast corner of said Lot 6; thence West along the south line of Lot 6, a distance of 70.07 feet more or less to the west line of said E 1/2 of Lot 6; thence North at a deflection angle of 89 degrees 25 minutes to the right a distance of 24.33 feet; thence East parallel with the south line of Lot 6 a distance of 34.38 feet; thence North parallel with the east line of Lot 6 a distance of 5.0 feet; thence East parallel with the south line of Lot 6 a distance of 35.67 feet more or less to the east line of Lot 6; thence South along the east line of Lot 6 a distance of 29.33 feet to the place of beginning, all in Block 15, Head and McMahon's Addition, in the City of Rochester, Olmsted County, Minnesota.

Parcel 2:
 West 1/2 of Lots 5 and 6 and the North 46 feet of the W 1/2 of Lot 7, Block 15, Head and McMahon's Addition to the City of Rochester, Olmsted County, Minnesota.

Parcel 3:
 A part of the E 1/2 of Lot 6, Block 15, Head and McMahon's Addition to the City of Rochester, Olmsted County, Minnesota, described by metes and bounds as follows: Beginning at the southeast corner of said Lot 6; thence West along the south line of Lot 6 a distance of 70.07 feet, more or less, to the west line of said E 1/2 of Lot 6; thence North at a deflection angle of 89 degrees 25 minutes to the right a distance of 24.33 feet; thence East parallel with the south line of Lot 6 a distance of 34.38 feet; thence North parallel with the east line of Lot 6 a distance of 5.0 feet; thence East parallel with the south line of Lot 6 a distance of 35.67 feet, more or less, to the east line of Lot 6; thence South along the east line of Lot 6 a distance of 29.33 feet to the place of beginning.

Parcel 4:
 The E 1/2 of Lot 7 and the North 4.7 feet of the E 1/2 of Lot 8, Block 15, Head and McMahon's Addition to the City of Rochester, Olmsted County, Minnesota.

Parcel 5:
 All of Lot 8, and the South 9 feet of the West Half of Lot 7 and the South 20 feet of the East Half of Lot 7, all in Block 15, Head and McMahon's Addition to the City of Rochester, Olmsted County, Minnesota; less the following described parcel, to-wit: The South 20 feet of the East Half of Lot 7 and the North 4.7 feet of the East Half of Lot 8; also described as the East Half of Lot 7, less the North 35 feet thereof, and the North 4.7 feet of the East Half of Lot 8, all in Block 15, Head and McMahon's Addition to the City of Rochester, Olmsted County, Minnesota.

AND

(This part not included in title commitment)
 That part of the 18.00 feet wide public alley in Block 15 of HEAD AND McMAHON'S ADDITION, according to the plat thereof on file at the County Recorder's Office, Olmsted County, Minnesota, lying north of the easterly extension of the south line of Lot 4 of said Block 15.

ALTA TABLE A RESPONSES

TABLE A ITEM 1 - PROPERTY CORNER MONUMENTS
 See survey map.

TABLE A ITEM 2 - PROPERTY ADDRESS

Parcel 1:	604 2nd Street SW, Rochester, MN 55902	(PID 64.02.21.009441)
	N/A	(PID 64.02.21.009439)
Parcel 2:	610 2nd Street SW, Rochester, MN 55902	(PID 64.02.21.009443)
Parcel 3 & Parcel 4:	211 6th Ave SW, Rochester, MN 55902	(PID 64.02.21.081804)
Parcel 5:	219 6th Ave SW, Rochester, MN 55902	(PID 64.02.21.009444)

TABLE A ITEM 3 - FLOOD ZONE CLASSIFICATION

The property lies within Zone X for areas determined to be outside the 0.2% annual chance floodplain. Per Flood Insurance Rate Map, Map Number 27109C0163F (map revised April 19, 2017).

TABLE A ITEM 4 - GROSS LAND AREA

33,848 square feet (0.78 acres) including 2,828 square feet (0.06 acres) of public alley

ALTA TABLE A RESPONSES (CONTINUED)

TABLE A ITEM 6(A) - ZONING

Property is zoned 'R4 - High Density Residential'

Minimum Building Setbacks: Front 15 ft.
 Interior Side 10 ft.
 Street Side 7 ft.
 Rear 15 ft.
 Maximum Permitted Height 115 ft. for primary structures
 Minimum Lot Size 6,000 sq.ft.
 Minimum Lot Width 60 feet

Source: Unified Development Code, Chapter 60.200, Section 60.200.030

Note: No zoning report or zoning letter provided by client.

TABLE A ITEM 7(B1) - EXTERIOR BUILDING SQUARE FOOTAGE

See survey map.

TABLE A ITEM 8 - SUBSTANTIAL FEATURES

See survey map.

TABLE A ITEM 9 - MARKED PARKING SPACES

37 marked parking stalls on Parcels 1 - 5.

TABLE A ITEM 11(B) - UTILITIES

The utilities shown on this survey are according to visible evidence along with GOPHER STATE ONE CALL markings (ticket number 232193447). Widseth assumes no responsibility for the completeness and accuracies of these locations. Further locations and verifications are recommended prior to any construction or excavation.

Utility Carriers:	Telephone	(800) 778-9140
Centurylink	Gas	(800) 778-9140
Minnesota Energy Resources	Electric	(317) 575-7800
Rochester Public Utilities	Water	(507) 292-1215
Rochester Public Utilities	Sewer	(507) 421-8166

TABLE A ITEM 13 - ADJOINING OWNERS

See survey map.

TABLE A ITEM 16 - RECENT CONSTRUCTION

No evidence of recent earth moving work, building construction, or building additions were observed while conducting the fieldwork.

TABLE A ITEM 18 - OFFSITE EASEMENTS

Title Commitment Issued by Land Services USA, LLC as agents for First American Title Insurance Company; File Number: MNFA23-2796; Commitment Date 07/18/2023

No off-site easements listed.

COMMITMENT FOR TITLE INSURANCE

Issued by Land Services USA, LLC as agents for First American Title Insurance Company
 File Number: MNFA23-2796
 Commitment Date 07/18/2023

SCHEDULE B, PART II - Exceptions Responses

⓪ Easement	Bk. Z-3 of Misc., Pg. 446	shown on survey
Ⓜ Revocable Permit Agreement	Doc. A-1447744	shown on survey

SURVEYOR NOTE

⚠ This part of the 18-foot wide alley is intended to become part of the project property, but has not yet been vacated. This part is not covered by the title commitment.

CERTIFICATION

To GMH Communities and Land Services USA, LLC, as agents for First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(b1), 8, 9, 11(b), 13, 16 and 18 of Table A thereof. The fieldwork was completed on August 16, 2023.

Date: 08/30/2023

Peter G. Oetliker
 Peter G. Oetliker
 Minnesota LS No. 41887

LEGEND

PROPERTY BOUNDARY	LOT LINE	RIGHT OF WAY EXISTING	SECTION LINE	FENCE CHAIN LINK	FENCE WOOD	OVERHEAD ELECTRIC	UNDERGROUND ELECTRIC	OVERHEAD TELE	UNDERGROUND TELE	SANITARY SEWER	SANITARY SEWER SERVICE	STORM SEWER	UNDERGROUND GAS	WATERMAIN	WATERMAIN SERVICE	RETAINING WALL	BENCH MARK	FLAG POLE	GUARD POST	SIGN SINGLE POST	SHRUB	TREE DECIDUOUS	TREE CONIFER	SANITARY MANHOLE	STORM MANHOLE	STORM INLET	STORM CATCH BASIN	YARD LIGHT	ELEC LIGHT POLE	ELEC POLE	ELEC METER	TELE PEDESTAL	TELE HANDHOLE	GAS METER	GAS VALVE	WATER HYDRANT	WATER VALVE	WATER CURB STOP
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DATE:	08/28/2023	DATE:		AMENDMENTS:		BY:	
SCALE:	1"=20'						
DRAWN BY:	M.P.C.						
CHECKED BY:	P.G.O.						
FILE NUMBER:	2023-11183						



NOTES

- REFER TO PLANS AND S.D.P. 1-11 & 1-12 FOR TYPE OF FRAME, GRATE AND CURB BOX.
- ADJUSTING RINGS SHALL BE PER S.D.P. 1-13, AND BE FULLY MORTARED. HEIGHT OF RINGS SHALL BE 2" MINIMUM-8" MAXIMUM WITH 2 RINGS MAXIMUM. SEE MN/DOT S.P. 4010.
- IF THE HORIZONTAL ALIGNMENT IS OFFSET BY MORE THAN 2", IN ANY DIRECTION, THE STRUCTURE SHALL BE REALIGNED AS AN INCIDENTAL EXPENSE.
- REINFORCING SHALL BE A MINIMUM OF SINGLE LINE STEEL WIRE FABRIC HAVING AN AREA OF NOT LESS THAN 0.12 SQ. IN. PER FOOT OF HEIGHT.
- PROVIDE CONCRETE FILLETS TO FIT BOTTOM PORTION OF STRUCTURE AND TO DIRECT THE FLOW TO OUTLET AT MINIMUM SLOPE OF 1/4" PER FOOT. MINIMUM CONCRETE THICKNESS AT OUTLET 1 1/2".
- SEE S.D.P. 2-01, 2-05 AND 2-06 FOR CURB, GUTTER AND REINFORCEMENT DETAILS AT CATCH BASINS.
- SEE S.D.P. 1-08 FOR SUBDRAIN DETAILS AT CATCH BASINS.
- A PROTECTIVE COATING SHALL BE APPLIED TO ALL MORTARED JOINTS AROUND PIPE AND CONCRETE ADJUSTING RINGS WITH A 4" OVERLAP ON PRECAST. ALL GROUTING AND CLEANUP SHALL BE DONE PRIOR TO COATING.
- NO STEPS REQUIRED.

DEPARTMENT OF PUBLIC WORKS
CITY OF ROCHESTER, MINNESOTA
STRUCTURE TYPE 1
CITY ENGINEER: *Devin S. Deibel*

SHT 1 OF 1 SHTS	DATE REVISED	PLATE NO.	REV.
	1/1/23	1-01	M

NOTES

- CONES SHALL BE CONCENTRIC. REFER TO MN/DOT S.P. 4005.
- REFER TO PLANS AND S.D.P. 1-11 AND 1-12 FOR CASTING REQUIRED. CASTING SHALL BE BOLTED TO CONCRETE IN NON-PAVED AREAS.
- ADJUSTING RINGS SHALL BE PER S.D.P. 1-13.
- REINFORCING SHALL BE A MIN. OF A SINGLE LINE STEEL WIRE FABRIC HAVING AN AREA OF NOT LESS THAN 0.12 SQ. IN. PER FOOT OF HEIGHT.
- STEPS ARE SPACED 16" O.C. MAXIMUM AND SHALL CONFORM TO MN/DOT S.P. 4180. STEPS SHALL BE ORIENTED ON THE UPSTREAM LEFT SIDE AS SHOWN.
- ALL JOINTS TO BE GASKETED. REFER TO MN/DOT SPEC. 3726.
- PROVIDE CONCRETE FILLETS TO FIT BOTTOM PORTION OF PIPE TO DIRECT FLOW TO OUTLET AT 1/4" PER FT. MINIMUM SLOPE. SHAPE CHANNELS TO HAVE SMOOTH ROUND INVERTS. DEPTH OF CHANNELS SHALL NOT BE LESS THAN 1/2 THE PIPE SIZE.
- MINIMUM CONCRETE THICKNESS AT LOWEST INVERT SHALL BE 1 1/2".
- MAXIMUM PIPE SIZE: 24" FOR STRAIGHT THRU TO 135° 18" FOR 90° BEND
- FOR INLET STRUCTURES IN PAVED AREAS, A PROTECTIVE COATING SHALL BE APPLIED TO ALL MORTARED JOINTS AROUND PIPE.

DEPARTMENT OF PUBLIC WORKS
CITY OF ROCHESTER, MINNESOTA
STRUCTURE TYPE 2 (STORM SEWER)
CITY ENGINEER: *Devin S. Deibel*

SHT 1 OF 2 SHTS	DATE REVISED	PLATE NO.	REV.
	3/23/18	1-02	K

NOTES

- 48" STRUCTURE SHALL BE USED WHENEVER THE CLEANOUT FALLS INTO PAVEMENT AREAS.
- MANHOLE COVER SHALL CONFORM TO MN/DOT S.P. 4020.
- REFER TO PLANS AND S.D.P. 1-11 AND 1-12 FOR CASTING REQUIRED. CASTING SHALL BE BOLTED TO CONCRETE IN FIELD APPLICATIONS.
- ADJUSTING RINGS SHALL BE PER S.D.P. 1-13, AND BE FULLY MORTARED.
- CLEANOUT CAP IS TO BE A MINIMUM OF 4" AND A MAXIMUM OF 6" BELOW THE FINISHED PAVEMENT GRADE.
- SET TOP OF RING CASTING TO 1/2" BELOW THE FINISHED PAVEMENT.

DEPARTMENT OF PUBLIC WORKS
CITY OF ROCHESTER, MINNESOTA
STRUCTURE TYPE 6 (CLEANOUT)
CITY ENGINEER: *Devin S. Deibel*

SHT 1 OF 1 SHTS	DATE REVISED	PLATE NO.	REV.
	4/15/20	1-06	F

SIZE CHART		
A	B	C
21 3/4	23 7/8	5 3/4
21 3/4	23 7/8	7 1/4
21 3/8	23 7/8	9 1/4
24 1/2	25 3/4	6 1/2

SIZE USED IS DEPENDENT ON MATERIAL THAT MANHOLE IS CONSTRUCTED OUT OF.

NOTES

- INTERNAL WATER BARRIER PER ASTM D4976 OR D790. MUST MATCH PRE-CAST CONE DIAMETER.
- 12" EXTERNAL WATER BARRIER WRAP (ALL JOINTS) PER ASTM C877
- TRIM TOP OF SEAL TO 1" BELOW CASTING LID. CASTING SHALL NOT REST ON SEAL.
- PLACE 2 ROWS OF SEALANT ON TOP OF CONE SECTION AND BENEATH SEAL.
- FOR NEW STRUCTURES, SET EITHER 1/2" BELOW THE FLEXIBLE PAVEMENT OR FLUSH WITH THE RIGID PAVEMENT SURFACE.
- CALLK ALL JOINTS EXCEPT BETWEEN WATER BARRIER AND 1ST RING.

DEPARTMENT OF PUBLIC WORKS
CITY OF ROCHESTER, MINNESOTA
MANHOLE WATERPROOFING PAVED AREAS
CITY ENGINEER: *Devin S. Deibel*

SHT 1 OF 2 SHTS	DATE REVISED	PLATE NO.	REV.
	5/1/23	1-07	F

NOTES

- A VALVE BOX TOP SECTION SHALL BE USED AS A CURB BOX COVER WHENEVER THE CURB BOX FALLS INTO NEW OR REPLACED CONCRETE SIDEWALK, DRIVE APPROACH, OR BITUMINOUS PAVEMENT AREAS.
- VALVE BOX TOP SECTION SHALL BE OF THE SCREW TYPE, HAVE A MINIMUM INSIDE SHAFT DIAMETER OF 5 1/4", AND HAVE A CAP WITH THE WORD "WATER" PLAINLY MARKED ON TOP.
- VALVE BOX COVER SHALL BE OF THE LOCKING TYPE.
- CURB BOX RISER CAP IS TO BE A MINIMUM OF 4" AND A MAXIMUM OF 6" BELOW THE FINISHED PAVEMENT GRADE.
- CURB BOX RISER ADJUSTMENT, AND THE FURNISHING & INSTALLATION OF VALVE BOX TOP SECTION AND COVER, SHALL BE INCLUDED IN PAYMENT FOR CURB BOX COVER.

DEPARTMENT OF PUBLIC WORKS
CITY OF ROCHESTER, MINNESOTA
CURB BOX COVER
CITY ENGINEER: *Devin S. Deibel*

SHT 1 OF 1 SHTS	DATE REVISED	PLATE NO.	REV.
	1/20/17	1-10	D

CASTINGS - STRUCTURE TYPE 1		REMARKS
TYPE	DESCRIPTION	REMARKS
VB	3" CURB INLET FRAME, GRATE & BOX	LOW POINT ONLY
A	3" DRIVEWAY INLET FRAME & GRATE	USE FOR BATTERFACE CURB
TB	3" DRIVEWAY INLET FRAME, GRATE & BOX	USE FOR DRIVEOVER CURB
L	3" CURB INLET FRAME, GRATE & BOX	PERPENDICULAR VANE

CASTINGS - OTHER STRUCTURES		REMARKS
TYPE	DESCRIPTION	REMARKS
1	9" FRAME & COVER-GASKETED	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
2	9" FRAME & COVER-GASKETED	INDENTED TOP
3	7" FRAME & COVER-GASKETED	INDENTED TOP
4	7" FRAME & COVER	USED FOR P.R.V. MANHOLES
5	9" FRAME & GRATE	FLAT GRATE
6	DITCH GRATE-STOOL TYPE-FALL	HEAVY DUTY - LARGE OPENING
7	DITCH GRATE-STOOL TYPE-SHORT	LIGHT DUTY - SMALL OPENING
8	POND SKIMMER GRATE	HOT DIPPED GALVANIZED, NOT SUBJECT TO H2O LOADING
9	6", 8" OR 12" YARD DRAIN GRATE	USED ON SMALL YARD DRAINS

DEPARTMENT OF PUBLIC WORKS
CITY OF ROCHESTER, MINNESOTA
CASTING REFERENCE NUMBERS
CITY ENGINEER: *Devin S. Deibel*

SHT 1 OF 1 SHTS	DATE REVISED	PLATE NO.	REV.
	1/1/23	1-11	O

CASTINGS - STRUCTURE TYPE 1		REMARKS
TYPE	DESCRIPTION	REMARKS
VB	3" CURB INLET FRAME, GRATE & BOX	LOW POINT ONLY
A	3" DRIVEWAY INLET FRAME & GRATE	USE IN DRIVE APPROACH WITH BATTERFACE CURB
TB	3" DRIVEWAY INLET FRAME, GRATE & BOX	USE IN DRIVE APPROACH WITH DRIVEOVER CURB
L	3" CURB INLET FRAME, GRATE & BOX	PERPENDICULAR VANE

CASTINGS - OTHER STRUCTURES		REMARKS
TYPE	DESCRIPTION	REMARKS
1	9" FRAME & COVER-GASKETED	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
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9	6", 8" OR 12" YARD DRAIN GRATE	USED ON SMALL YARD DRAINS

DEPARTMENT OF PUBLIC WORKS
CITY OF ROCHESTER, MINNESOTA
STANDARD CASTINGS ASSEMBLIES
CITY ENGINEER: *Devin S. Deibel*

SHT 1 OF 2 SHTS	DATE REVISED	PLATE NO.	REV.
	1/1/23	1-12	G

CASTINGS - OTHER STRUCTURES		REMARKS
TYPE	DESCRIPTION	REMARKS
1	9" FRAME & COVER-GASKETED	USED IN FLOOD PRONE AREAS & IN CONCRETE PAVING
2	9" FRAME & COVER-GASKETED	INDENTED TOP
3	7" FRAME & COVER-GASKETED	INDENTED TOP
4	7" FRAME & COVER	USED FOR P.R.V. MANHOLES
5	9" FRAME & GRATE	FLAT GRATE
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8	POND SKIMMER GRATE	HOT DIPPED GALVANIZED, NOT SUBJECT TO H2O LOADING
9	YARD DRAIN GRATE	USED ON SMALL YARD DRAINS

DEPARTMENT OF PUBLIC WORKS
CITY OF ROCHESTER, MINNESOTA
STANDARD CASTING ASSEMBLIES
CITY ENGINEER: *Devin S. Deibel*

SHT 2 OF 2 SHTS	DATE REVISED	PLATE NO.	REV.
	1/1/23	1-12	G

WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

GRAIGN BRITTON, LIC. NO. 44228

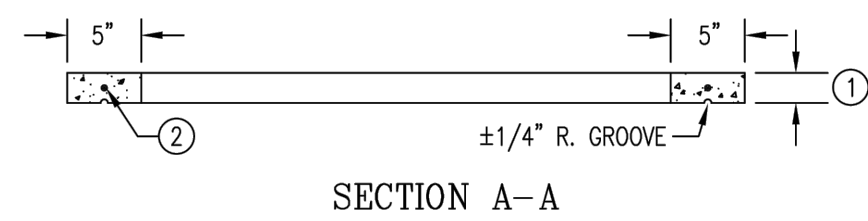
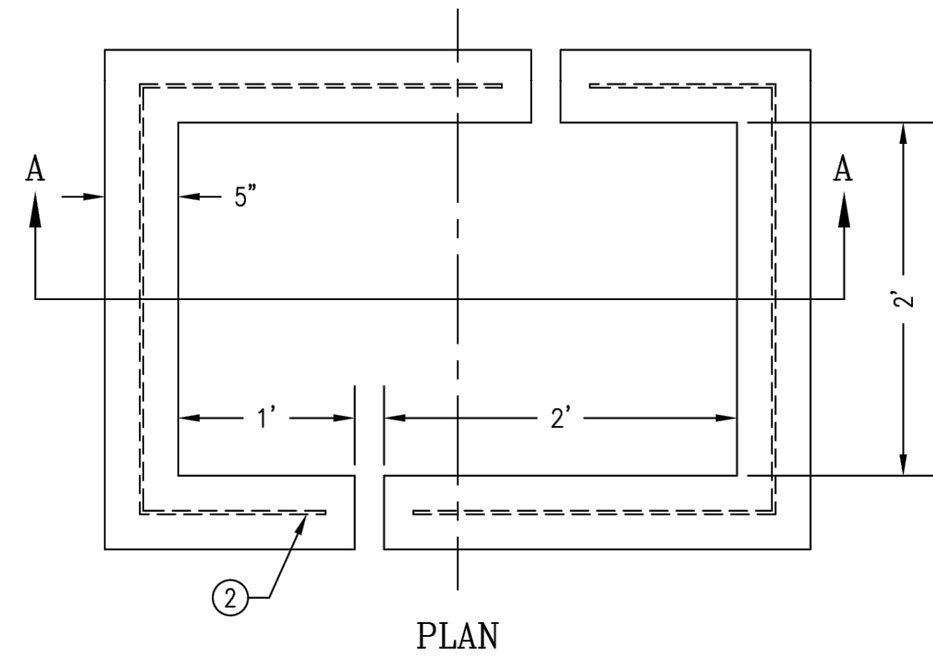
CITYWALK APARTMENTS 12-STORY OPTION
DM COMPANIES
ROCHESTER, MN

DATE: AUGUST, 2023
SCALE: AS SHOWN
DRAWN BY: A.A.P.
CHECKED BY: C.A.B.

DATE: 8-23-2023
REVISION DESCRIPTION
1 12 - STORY UPDATES

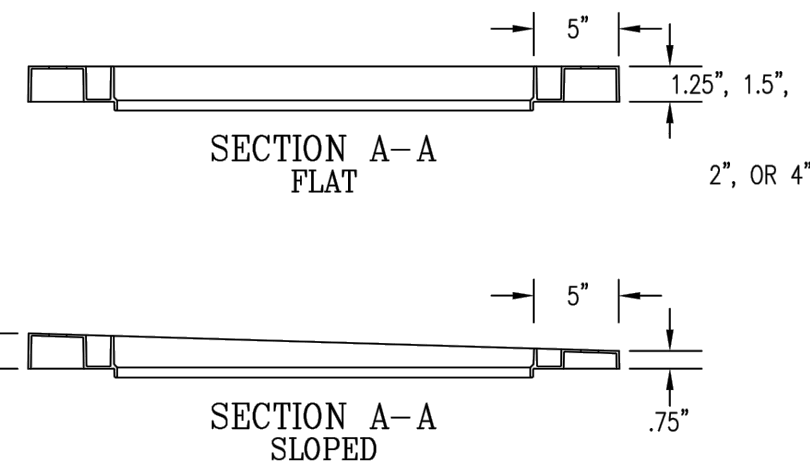
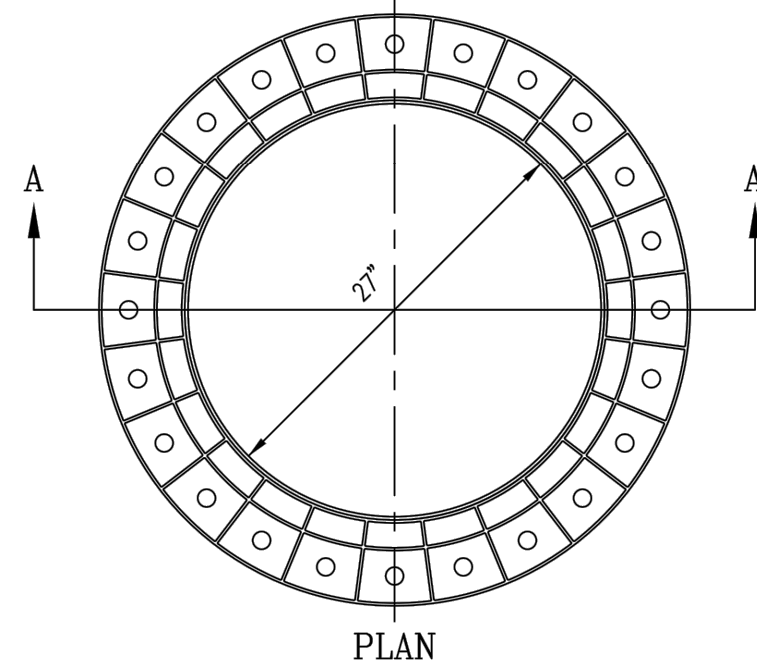
JOB NUMBER: 2023-11183

SHEET NO. **C2.0**



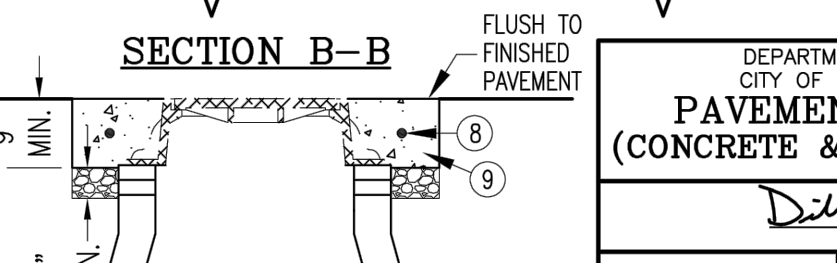
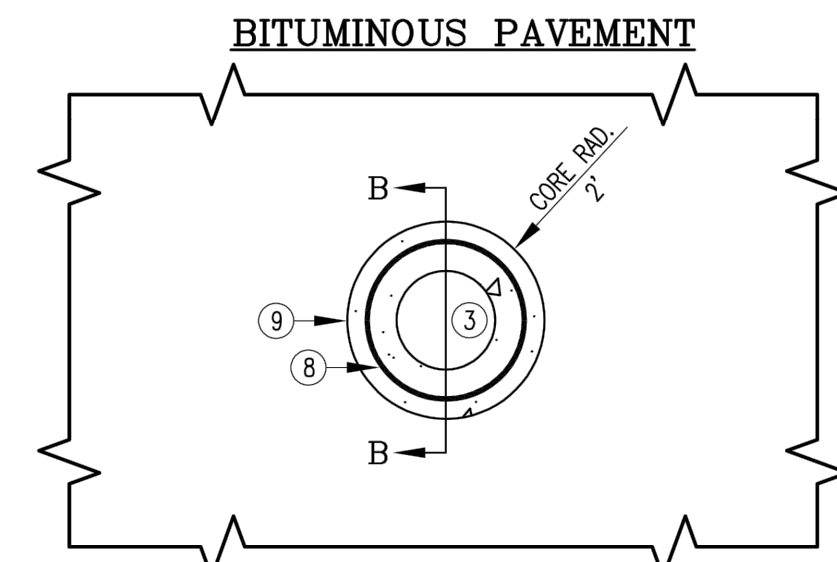
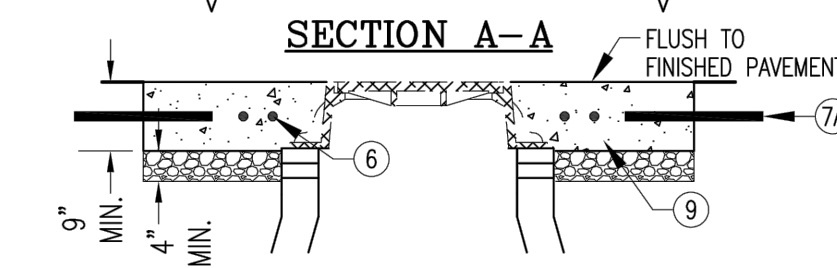
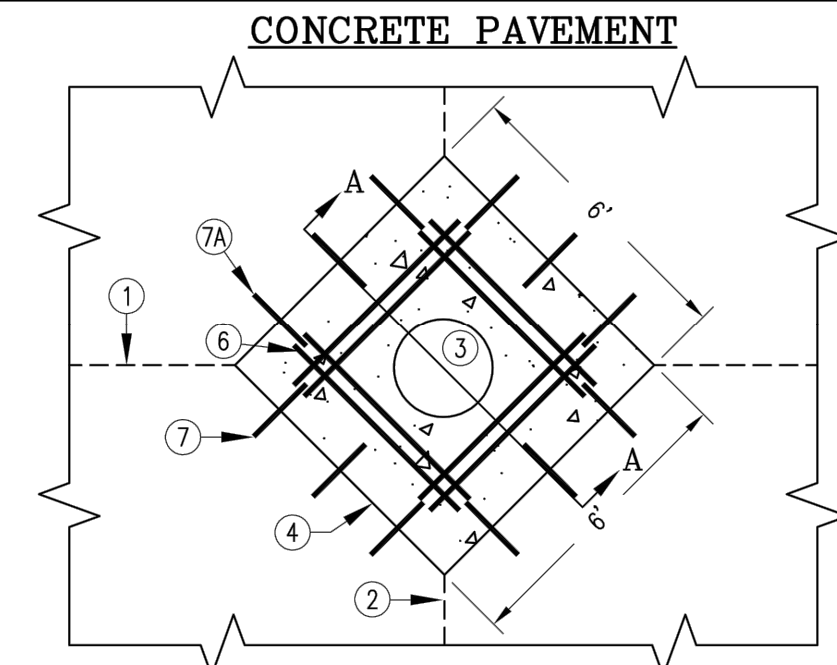
- NOTES**
- VARIABLE THICKNESS OF 2" MINIMUM AND 6" MAXIMUM
 - REINFORCEMENT SHALL BE A SINGLE HOOP OF #8 GAGE STEEL WIRE
 - SEE MN/DOT S.P. 4010

DEPARTMENT OF PUBLIC WORKS CITY OF ROCHESTER, MINNESOTA			
CONCRETE STRUCTURE ADJUSTING RINGS			
<i>Dilan S. Deibel</i> CITY ENGINEER			
SHT 1 OF 2 SHTS	DATE REVISED 1/1/23	PLATE NO. 1-13	REV. G



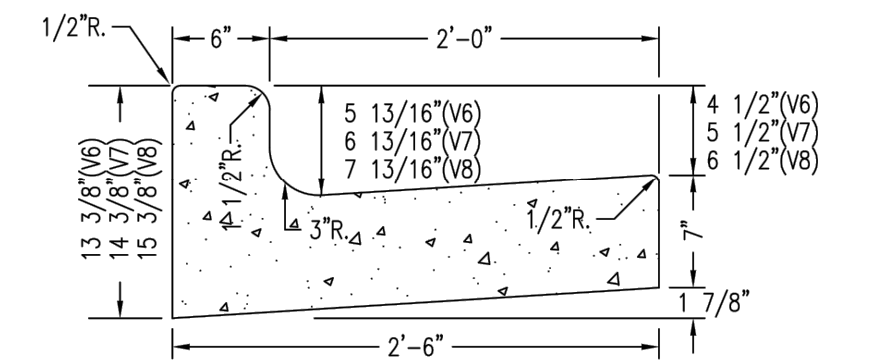
- NOTES**
- RING SHALL BE MOLDED FROM HIGH DENSITY POLYETHYLENE MATERIAL AS DEFINED IN ASTM D4976.
 - USE SLOPED RINGS TO MATCH GRADE ANGLE.

DEPARTMENT OF PUBLIC WORKS CITY OF ROCHESTER, MINNESOTA			
POLYETHYLENE STRUCTURE ADJUSTING RINGS			
<i>Dilan S. Deibel</i> CITY ENGINEER			
SHT 2 OF 2 SHTS	DATE REVISED 1/1/23	PLATE NO. 1-13	REV. G

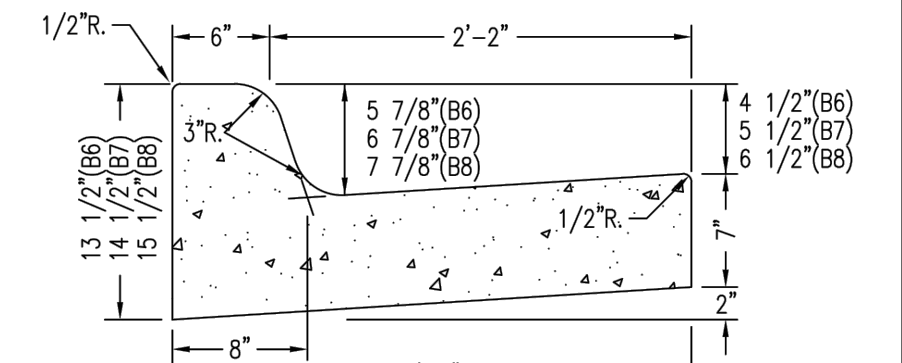


- NOTES**
- LONGITUDINAL JOINT
 - TRANSVERSE JOINT
 - MANHOLE LID
 - 1/2" EXPANSION JOINT
 - ALL DOWEL AND REINFORCEMENT BARS TO BE EPOXY COATED.
 - REINFORCEMENT TWO NO. 5 BARS 5'-6" LONG, 5" SPACE EACH SIDE
 - 1" DOWEL BAR 18" LONG
 - #4 TIE BAR 18" LONG
 - REINFORCEMENT ONE NO. 3 BAR
 - RESTORED CONCRETE PAVEMENT HIGH-EARLY MIX AND AGGREGATE BASE.

DEPARTMENT OF PUBLIC WORKS CITY OF ROCHESTER, MINNESOTA			
PAVEMENT RESTORATION (CONCRETE & BITUMINOUS STREET)			
<i>Dilan S. Deibel</i> CITY ENGINEER			
SHT 1 OF 1 SHTS	DATE REVISED 4/15/22	PLATE NO. 1-16	REV. C



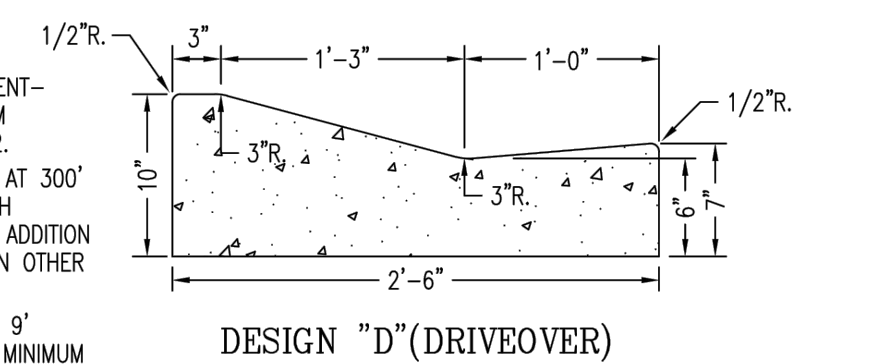
DESIGN "V"(VERTICAL)



DESIGN "B"(BATTERFACE)

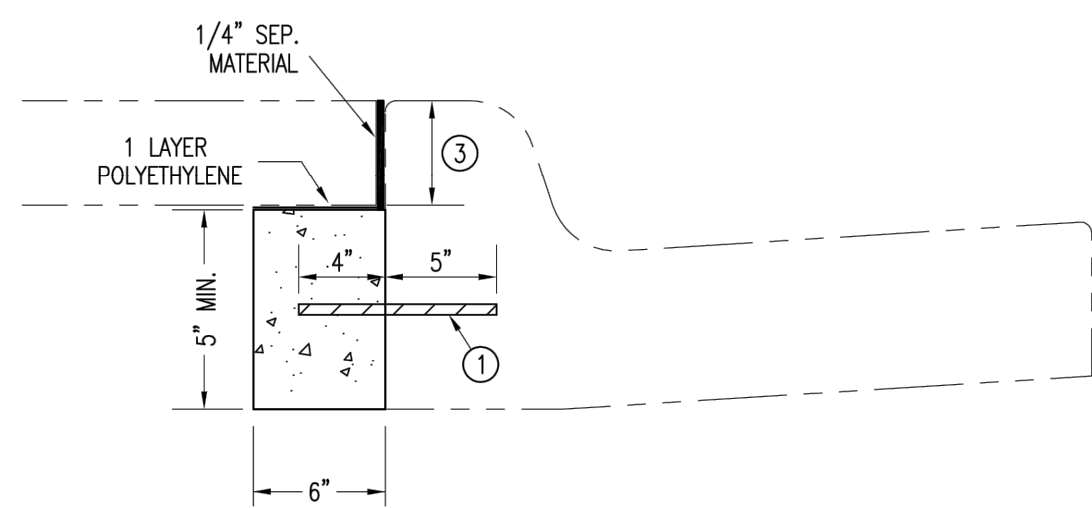
NOTES

- CONCRETE MIX: MANUAL PLACEMENT-MN/DOT SPEC. 3F52, SLIP-FORM PLACEMENT-MN/DOT SPEC. 3F32.
- PROVIDE 1/2" EXPANSION JOINT AT 300' MAXIMUM SPACING AND TO MATCH PAVEMENT EXPANSION JOINTS IN ADDITION TO EXPANSION JOINTS SHOWN ON OTHER DETAIL PLATES.
- PROVIDE CONTRACTION JOINTS @ 9' MAXIMUM SPACING, SAW CUT 2" MINIMUM DEPTH.
- ALL CONCRETE CURB & GUTTER SHALL BE PLACED ON A MINIMUM OF A 4" AGGREGATE BASE.
- SILL REQUIRED FOR DESIGN "V" AND "B", WHEREVER SIDEWALK ABUTS CURB. SEE S.D.P. 2-02.



DESIGN "D"(DRIVEOVER)

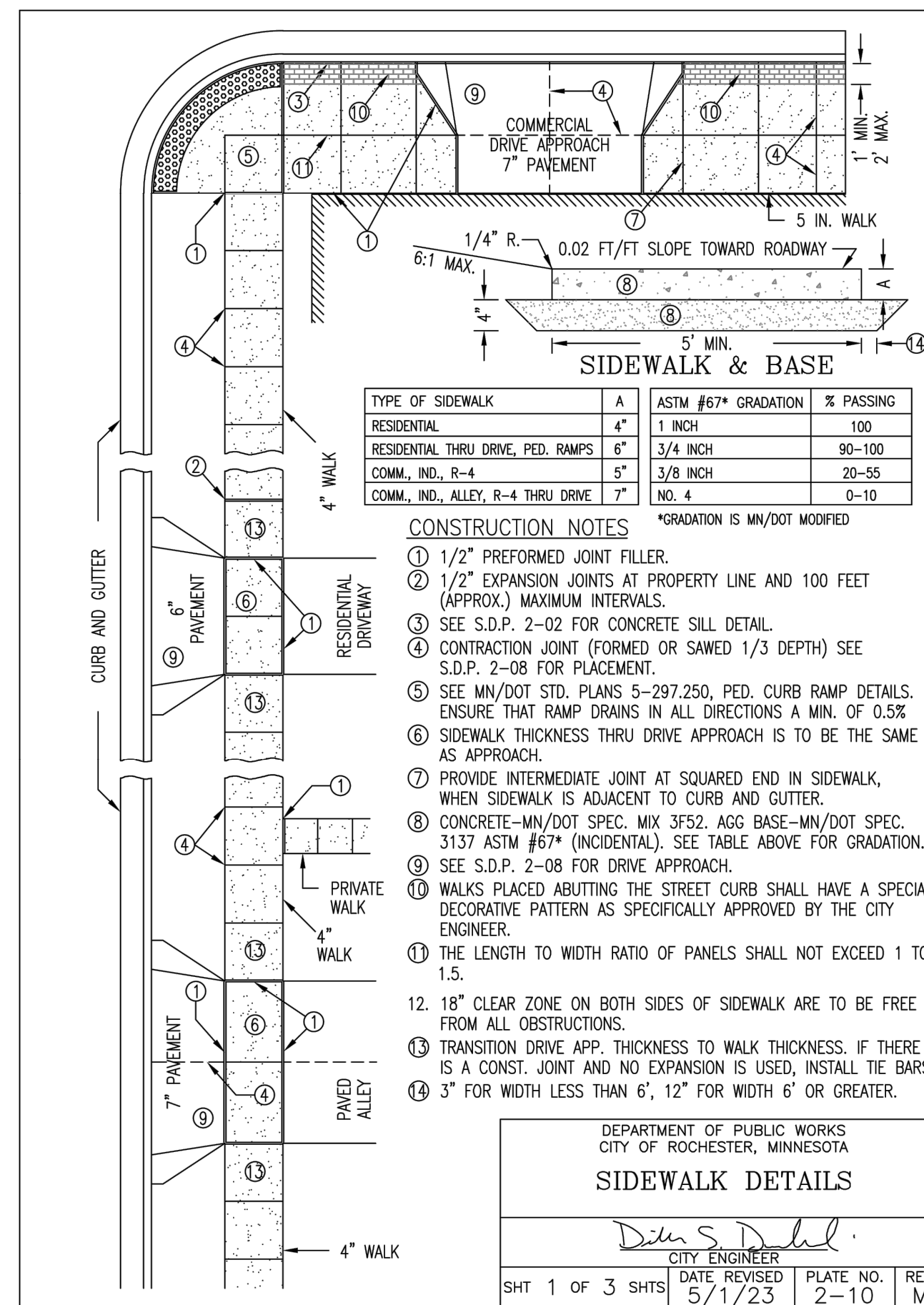
DEPARTMENT OF PUBLIC WORKS CITY OF ROCHESTER, MINNESOTA			
CONCRETE CURB & GUTTER			
<i>Donald Nelson</i> ASST. CITY ENGINEER			
<i>Keith W. Finner</i> DIRECTOR			
SHT 1 OF 1 SHTS	DATE REVISED 3/23/18	PLATE NO. 2-01	REV. G



MODIFIED B624 CURB & GUTTER
MODIFIED V624 CURB & GUTTER (SIMILAR)

- NOTES**
- THE SILL AT 3'-0" CENTERS WITH 9" x NO. 4 REINFORCING BARS OR FOUR INTEGRALLY WITH CURB.
 - SILL SHALL BE INSTALLED ON ALL SIDEWALK LESS THAN 6" THICK, ABUTTING CURB & GUTTER.
 - DIMENSION TO BE SAME AS SIDEWALK THICKNESS, 5" MINIMUM.

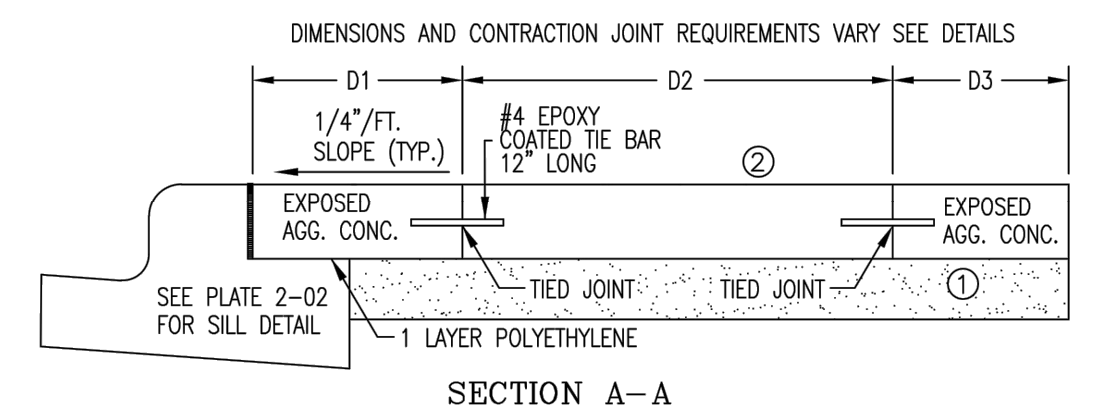
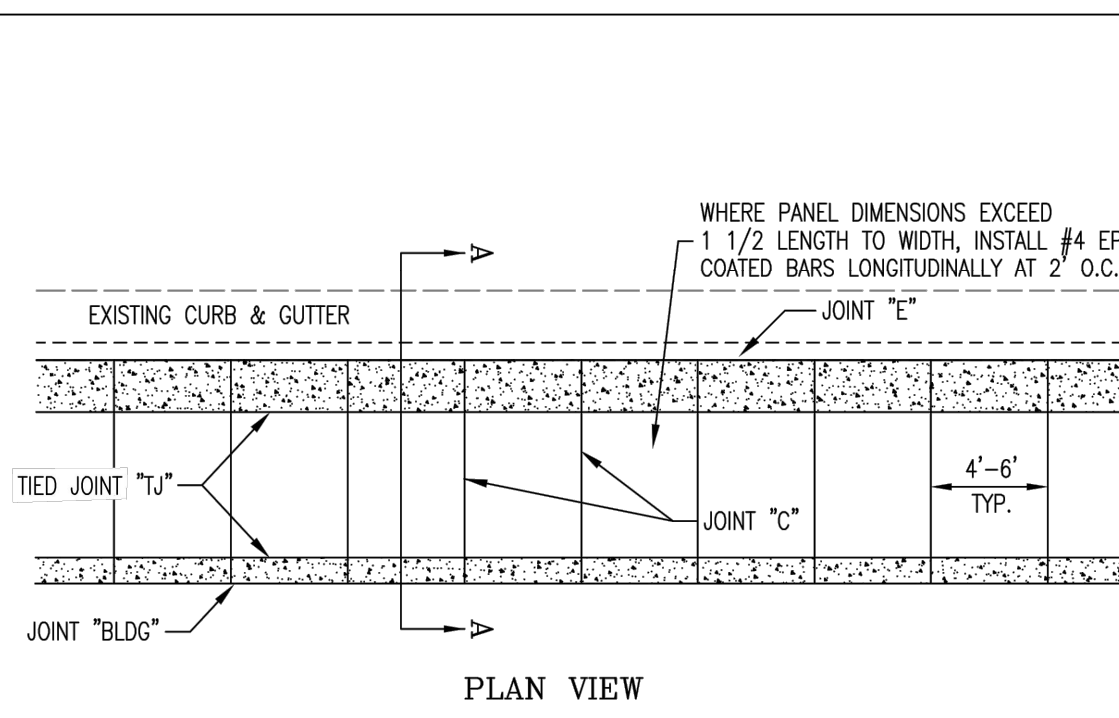
DEPARTMENT OF PUBLIC WORKS CITY OF ROCHESTER, MINNESOTA			
CONCRETE SILL			
<i>Dilan S. Deibel</i> CITY ENGINEER			
SHT 1 OF 1 SHTS	DATE REVISED 4/15/22	PLATE NO. 2-02	REV. G



TYPE OF SIDEWALK	A	ASTM #67* GRADATION	% PASSING
RESIDENTIAL	4"	1 INCH	100
RESIDENTIAL THRU DRIVE, PED. RAMPS	6"	3/4 INCH	90-100
COMM. IND., R-4	5"	3/8 INCH	20-55
COMM. IND., ALLEY, R-4 THRU DRIVE	7"	NO. 4	0-10

- CONSTRUCTION NOTES**
- 1/2" PREFORMED JOINT FILLER.
 - 1/2" EXPANSION JOINTS AT PROPERTY LINE AND 100 FEET (APPROX.) MAXIMUM INTERVALS.
 - SEE S.D.P. 2-02 FOR CONCRETE SILL DETAIL.
 - CONTRACTION JOINT (FORMED OR SAWED 1/3 DEPTH) SEE S.D.P. 2-08 FOR PLACEMENT.
 - SEE MN/DOT STD. PLANS 5-297.250, PED. CURB RAMP DETAILS. ENSURE THAT RAMP DRAINS IN ALL DIRECTIONS A MIN. OF 0.5% AS APPROACH.
 - PROVIDE INTERMEDIATE JOINT AT SQUARED END IN SIDEWALK, WHEN SIDEWALK IS ADJACENT TO CURB AND GUTTER.
 - CONCRETE-MN/DOT SPEC. MIX 3F52. AGG. BASE-MN/DOT SPEC. 3137 ASTM #67* (INCIDENTAL). SEE TABLE ABOVE FOR GRADATION.
 - SEE S.D.P. 2-08 FOR DRIVE APPROACH.
 - WALKS PLACED ABUTTING THE STREET CURB SHALL HAVE A SPECIAL DECORATIVE PATTERN AS SPECIFICALLY APPROVED BY THE CITY ENGINEER.
 - THE LENGTH TO WIDTH RATIO OF PANELS SHALL NOT EXCEED 1 TO 1.5.
 - 18" CLEAR ZONE ON BOTH SIDES OF SIDEWALK ARE TO BE FREE FROM ALL OBSTRUCTIONS.
 - TRANSITION DRIVE APP. THICKNESS TO WALK THICKNESS. IF THERE IS A CONST. JOINT AND NO EXPANSION IS USED, INSTALL TIE BARS.
 - 3" FOR WIDTH LESS THAN 6", 12" FOR WIDTH 6" OR GREATER.

DEPARTMENT OF PUBLIC WORKS CITY OF ROCHESTER, MINNESOTA			
SIDEWALK DETAILS			
<i>Dilan S. Deibel</i> CITY ENGINEER			
SHT 1 OF 3 SHTS	DATE REVISED 5/1/23	PLATE NO. 2-10	REV. M



- CONSTRUCTION NOTES**
- PLACE 4" AGGREGATE BASE BELOW SLAB (INCIDENTAL).
 - CONCRETE SURFACE SHALL BE BROOM FINISHED.
 - THE ALL JOINTS BETWEEN EXPOSED AGGREGATE AND BROOM FINISH CONCRETE, TRANSVERSE AND LONGITUDINAL JOINTS (INCIDENTAL).
 - SEAL JOINTS WITH APPROVED FILLER AND SILICONE JOINT AND CRACK SEALER MEETING MN/DOT SPEC 3722 (INCIDENTAL).

DEPARTMENT OF PUBLIC WORKS CITY OF ROCHESTER, MINNESOTA			
SIDEWALK DETAILS DECORATIVE EDGING			
<i>Dilan S. Deibel</i> CITY ENGINEER			
SHT 2 OF 3 SHTS	DATE REVISED 5/1/23	PLATE NO. 2-10	REV. M

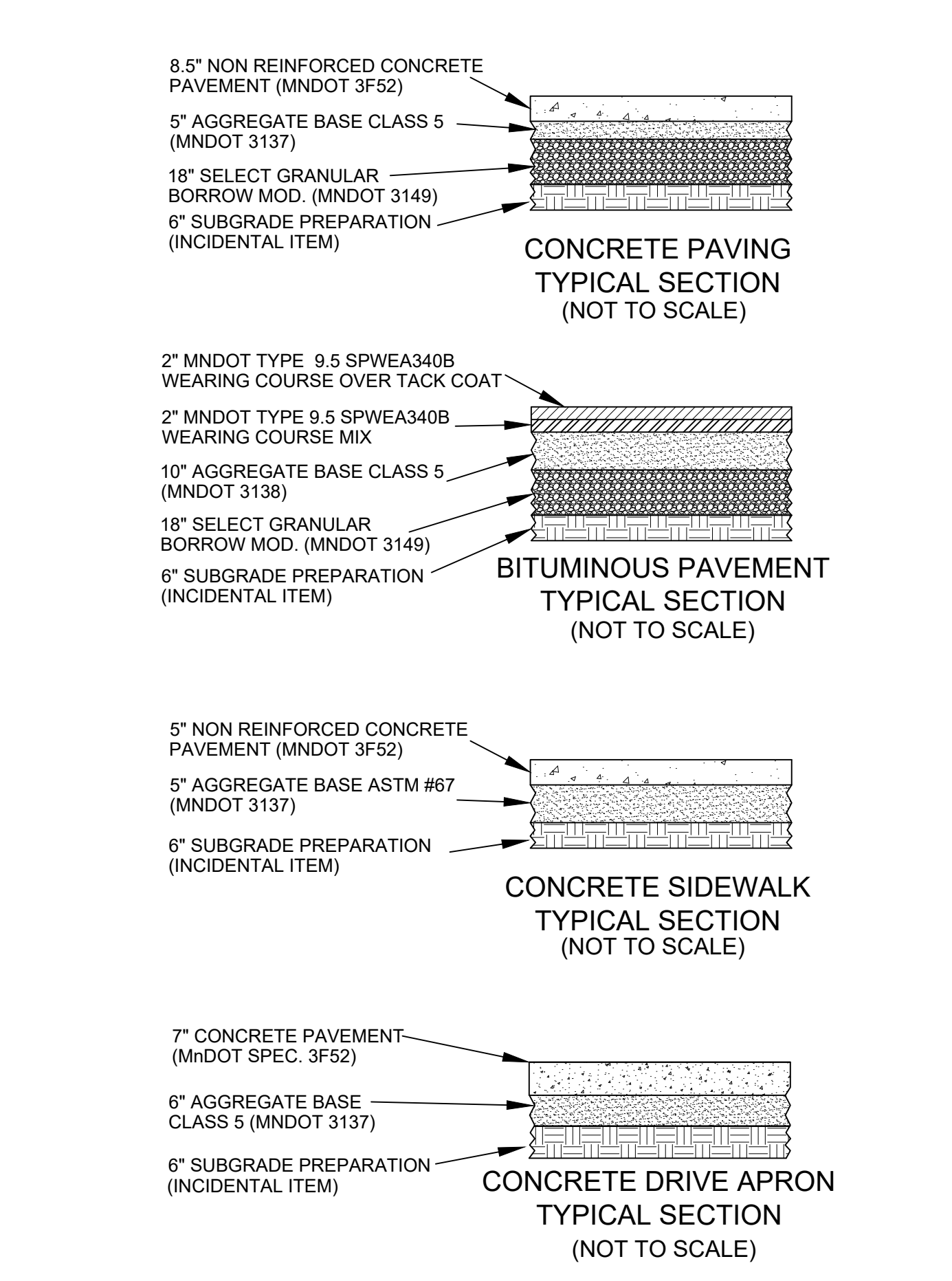
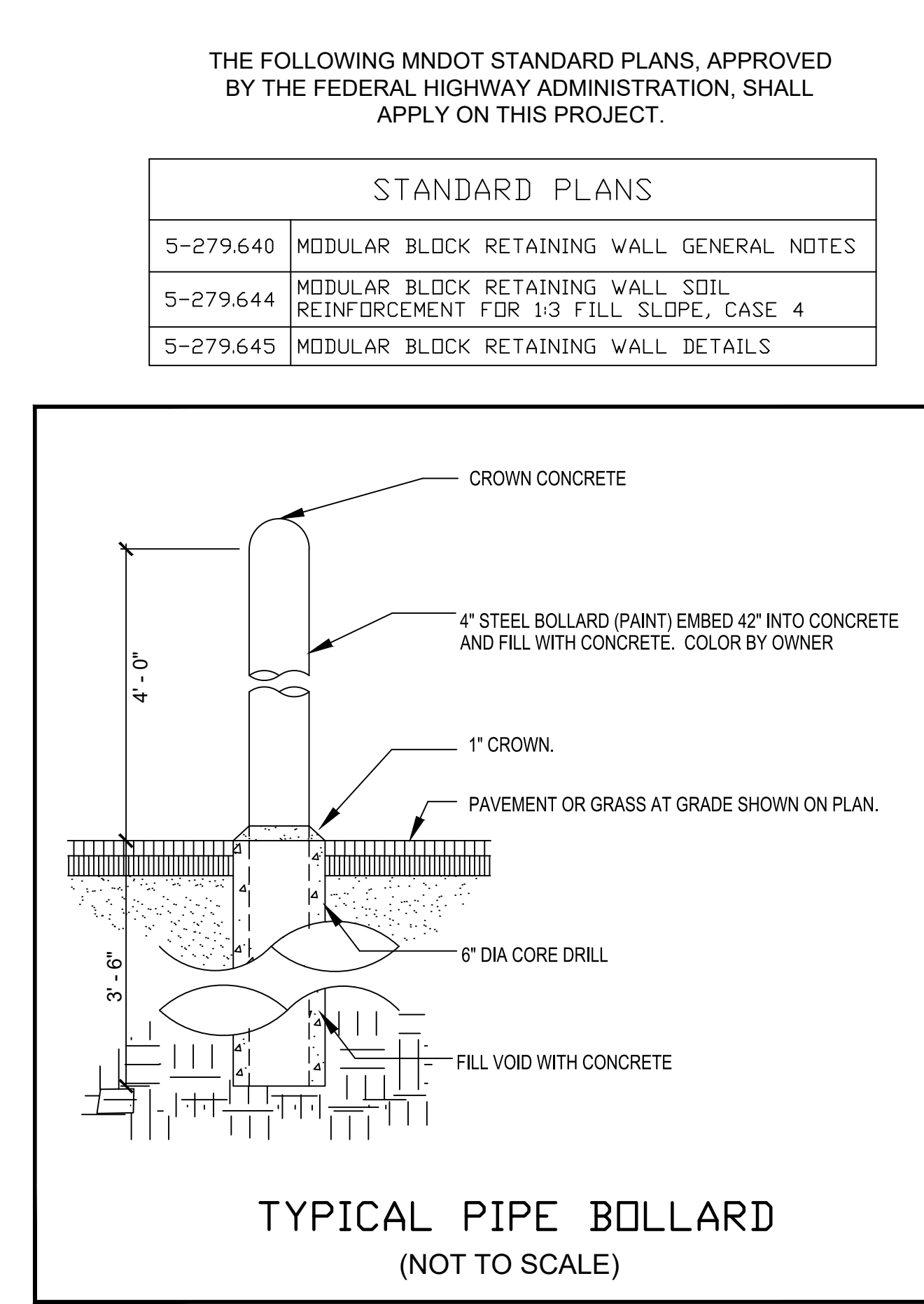
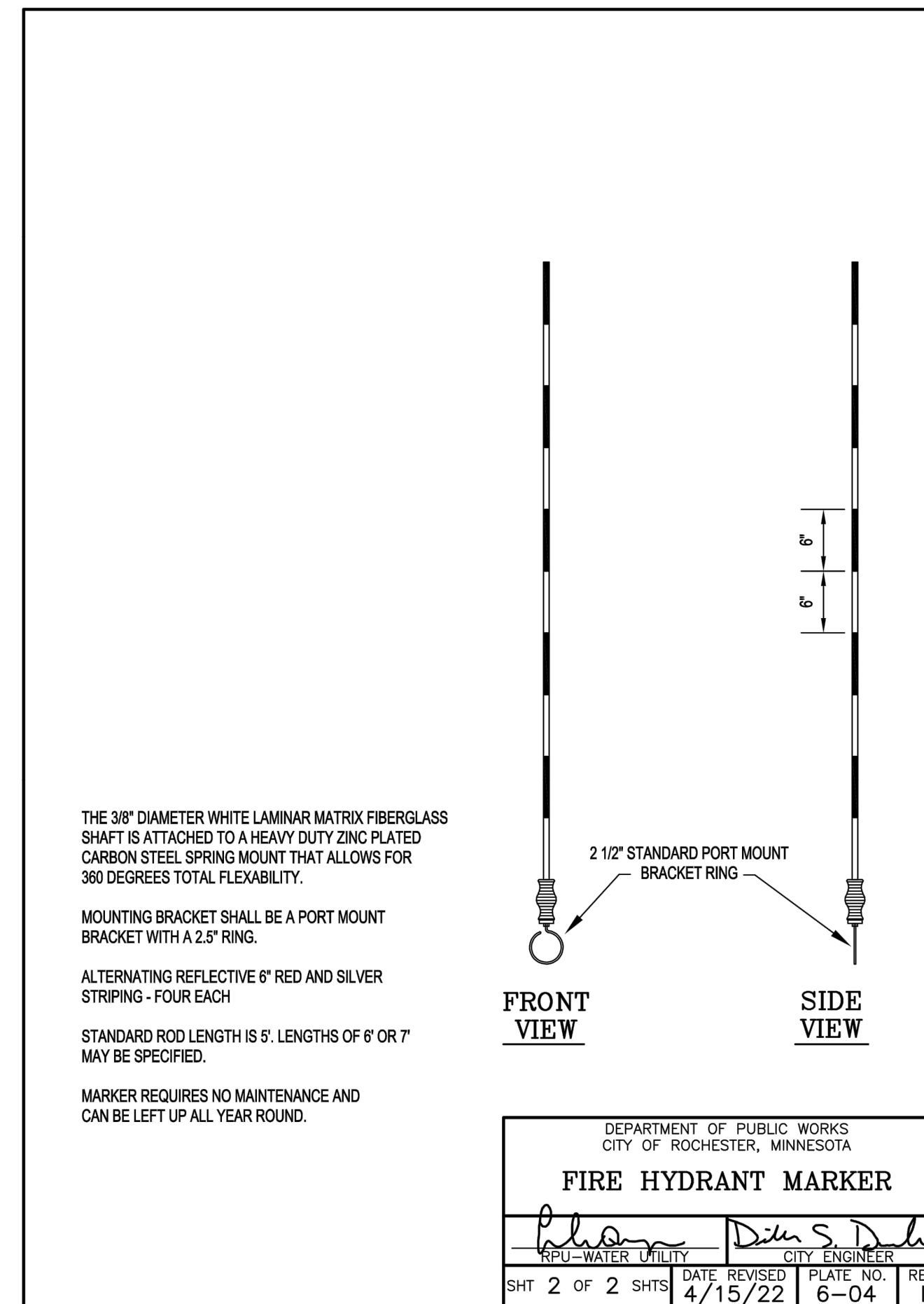
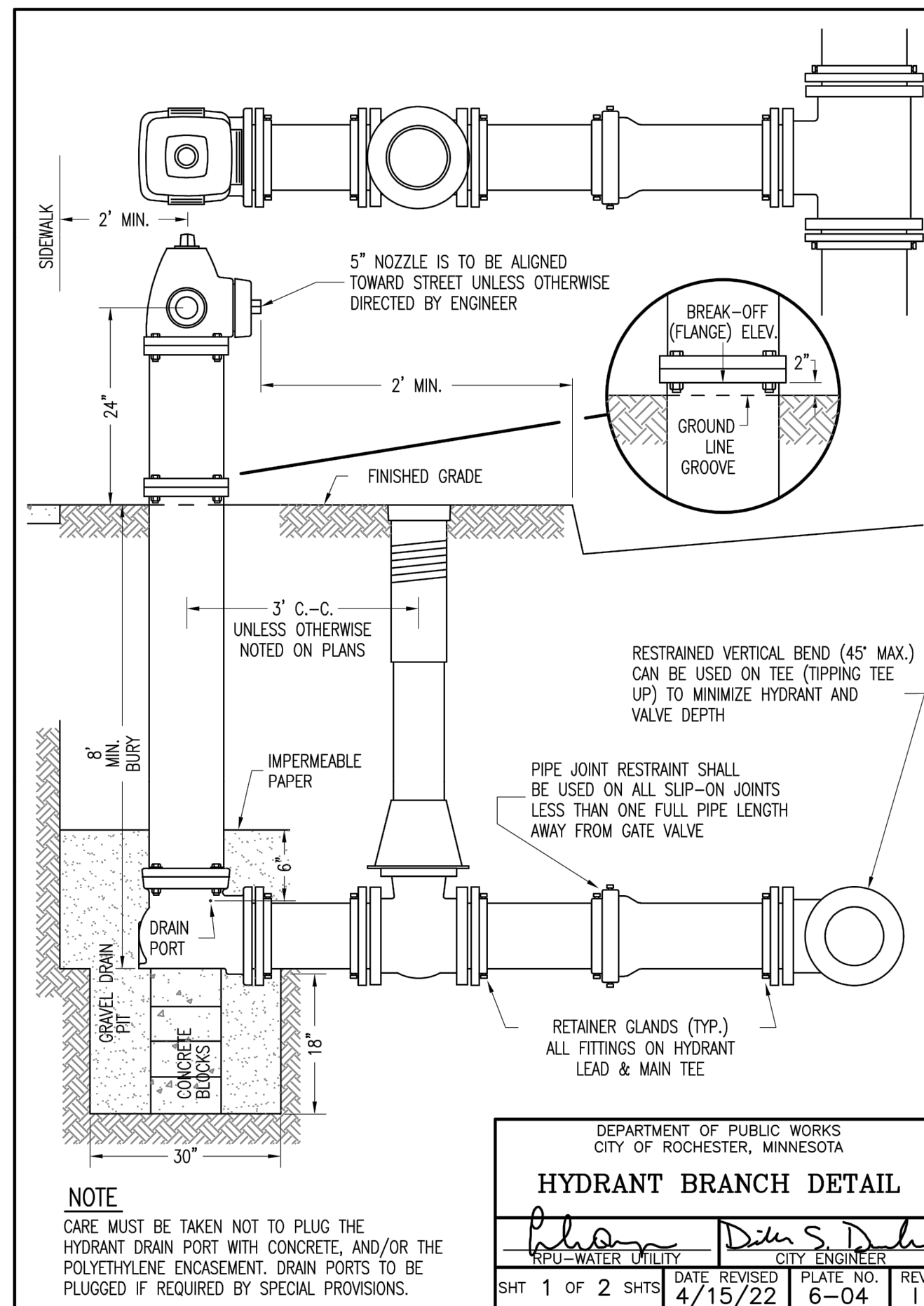
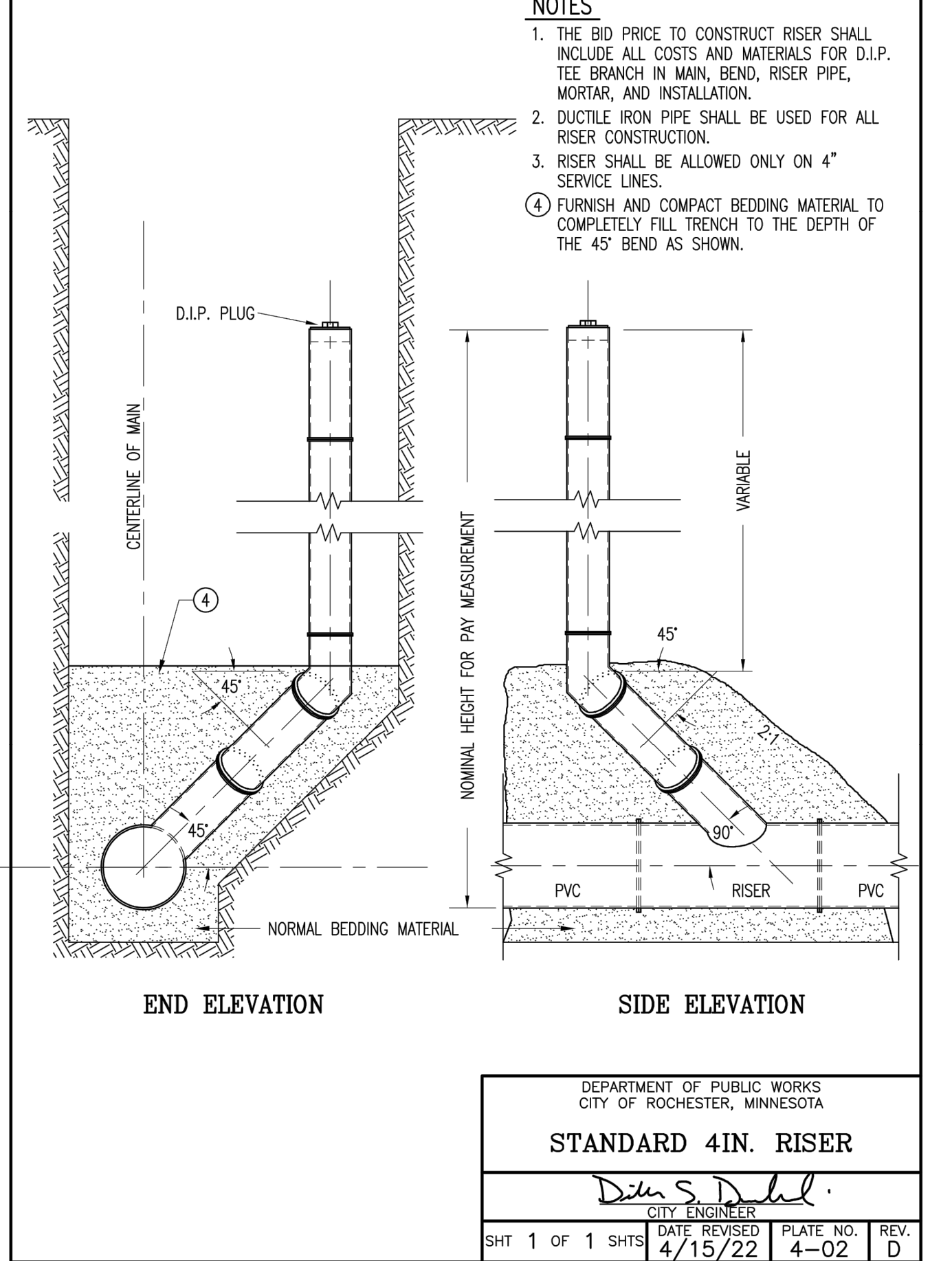
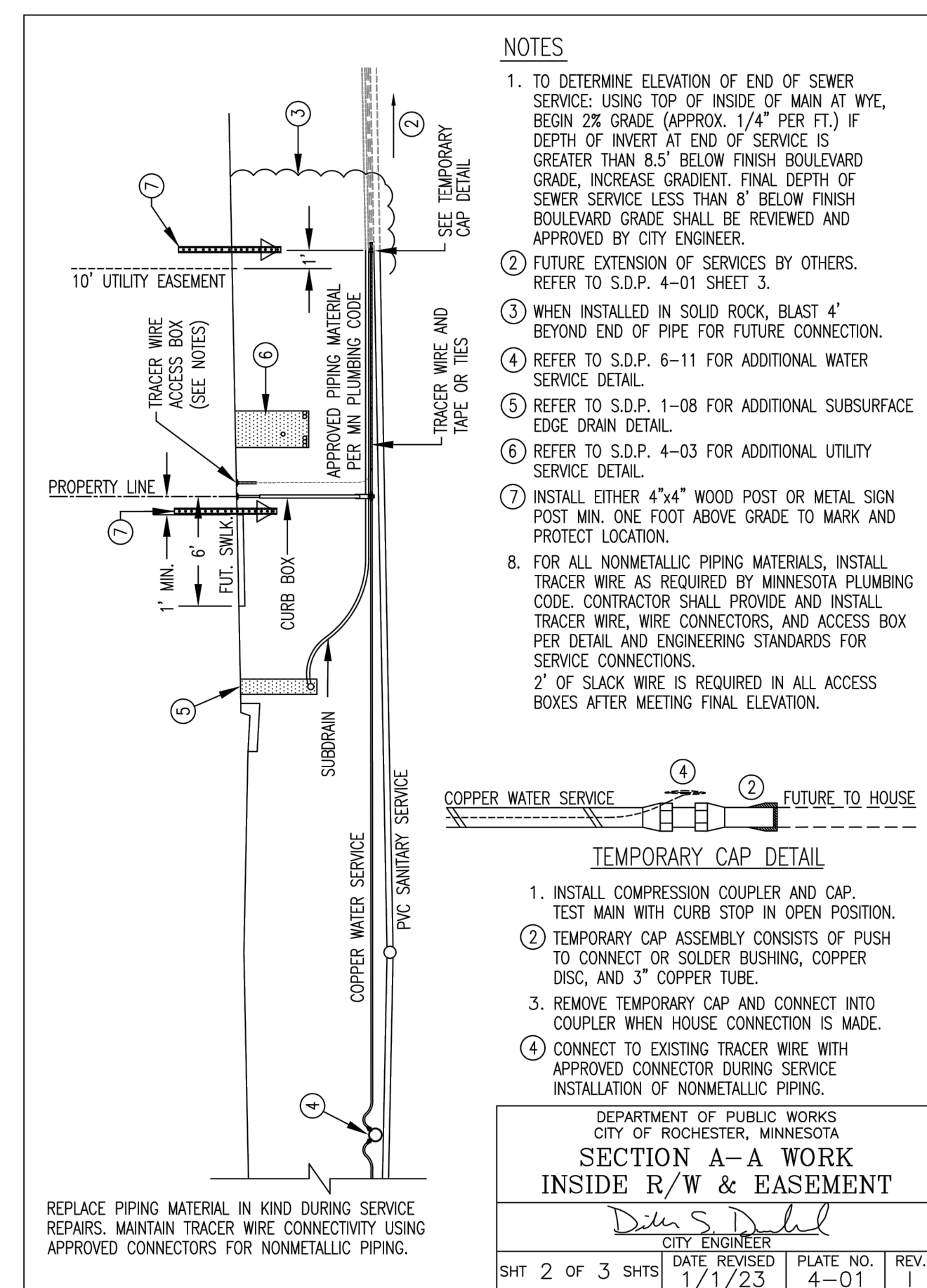
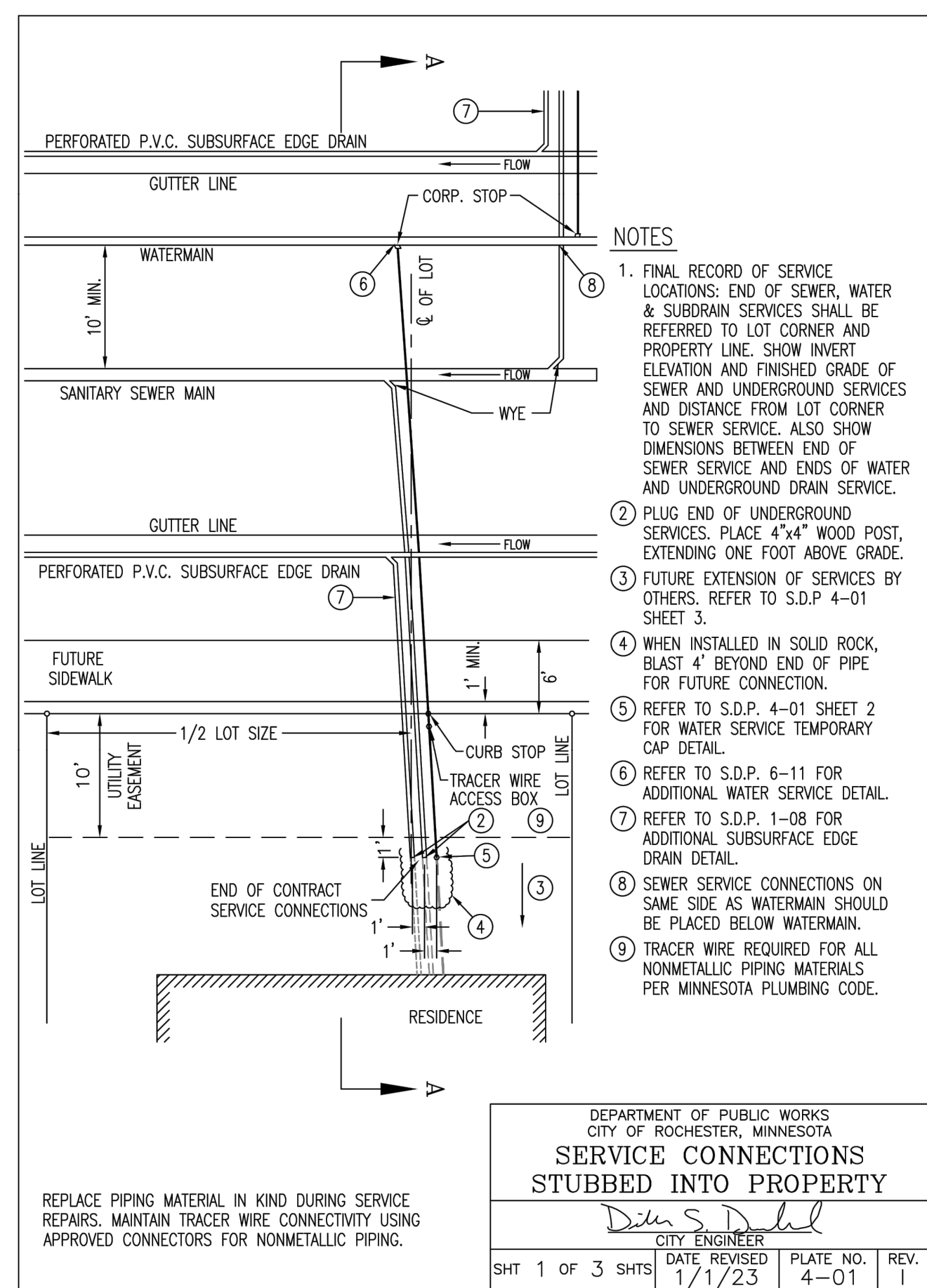
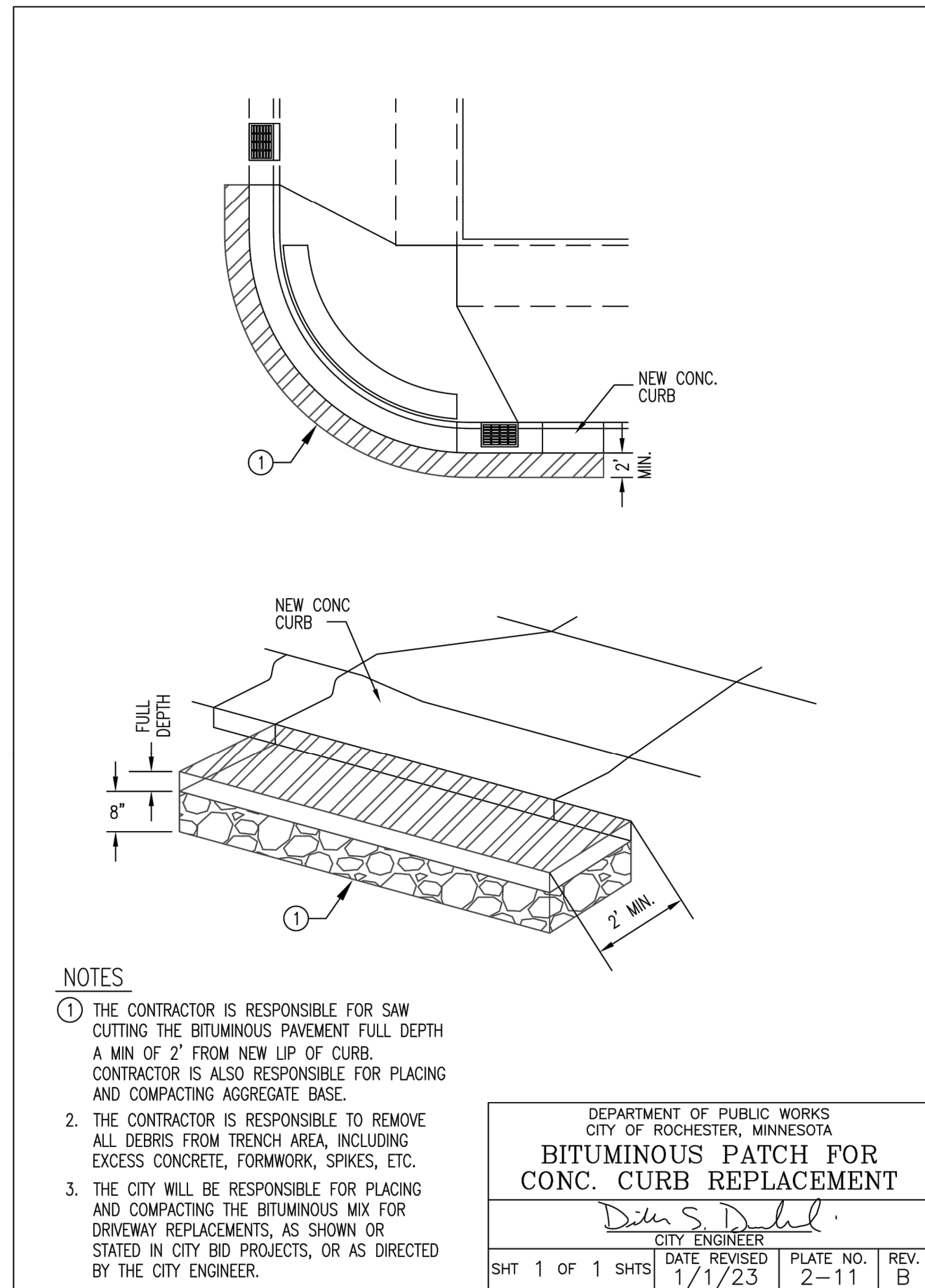
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CRAIG N. BRITTON LIC. NO. 44228

DATE:	REVISIONS DESCRIPTION:	BY:
AUGUST 2023	12 - STORY UPDATES	A.P.
SCALE:	DATE:	C.N.B.
AS SHOWN	8-23-2023	
DRAWN BY:		
A.A.P.		
CHECKED BY:		
C.N.B.		

DATE: AUGUST 2023
SCALE: AS SHOWN
DRAWN BY: A.A.P.
CHECKED BY: C.N.B.
JOB NUMBER: 2023-11183

CITYWALK APARTMENTS 12-STORY OPTION
DM COMPANIES
ROCHESTER, MN
STANDARD DETAILS



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DATE: 08/23/2023 LIC. NO. 44228

BY: [Signature]
A.P.
A.P.

REVISIONS DESCRIPTION

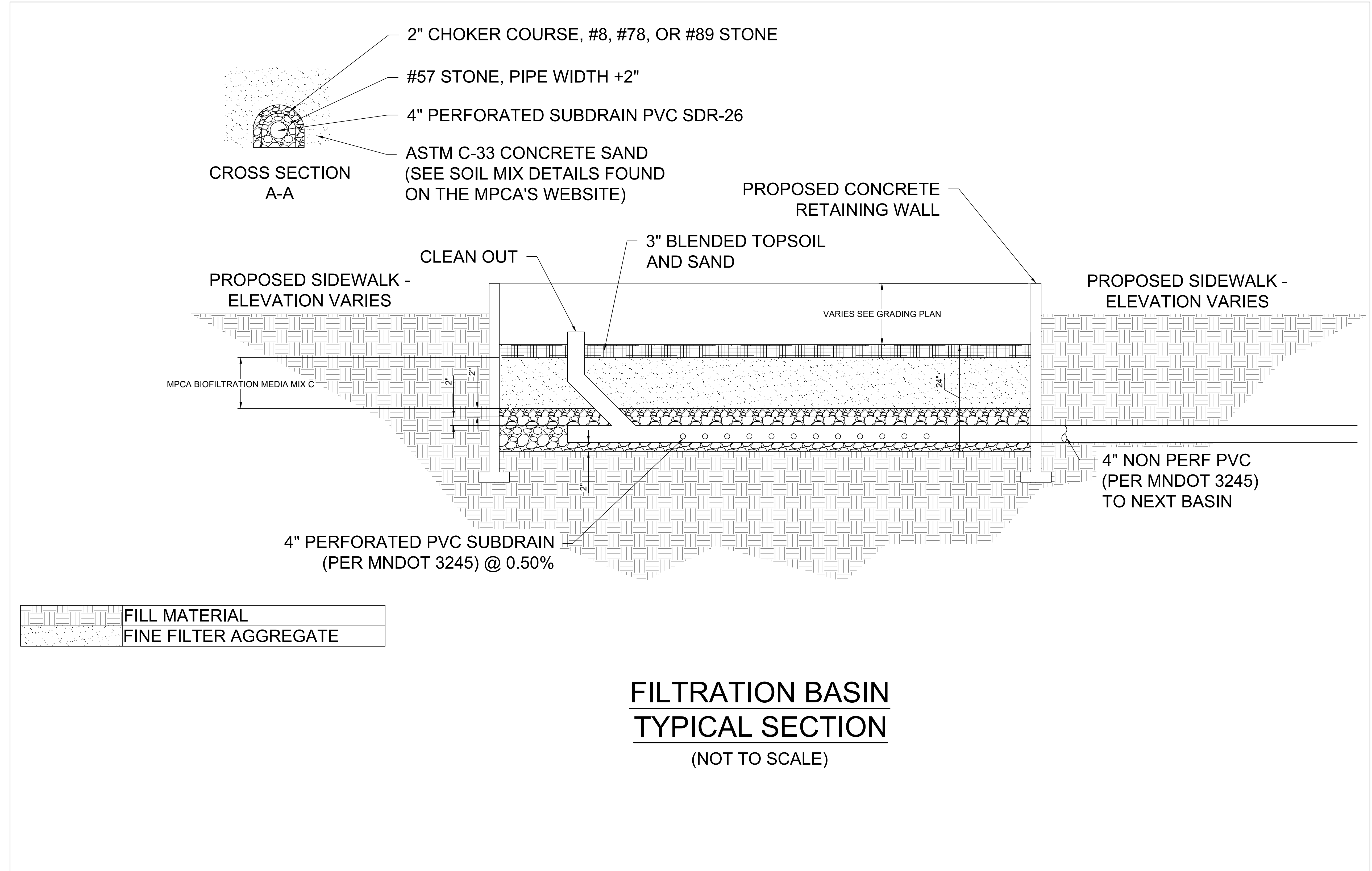
DATE	REV#	DESCRIPTION
9-2-2021	1	RPU REVIEW COMMENTS
8-23-2023	2	12- STORY UPDATES

DATE: AUGUST, 2023
AS SHOWN
DRAWN BY: A.A.P.
CHECKED BY: C.N.B.

JOB NUMBER: 2023-11183

CITYWALK APARTMENTS 12-STORY OPTION
DM COMPANIES
ROCHESTER, MN

SHEET NO.
C2.2



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Craig N. Britton
DATE: 08/23/2023 LIC. NO. 44228
CRAIG N. BRITTON

DATE	REV#	REVISIONS DESCRIPTION	BY
9-2-2021	1	RPV REVIEW COMMENTS	AAP
7-23-2023	2	12-STORY UPDATES	AAP

DATE: AUGUST, 2023
SCALE: AS SHOWN
DRAWN BY: A.A.P.
CHECKED BY: C.N.B.
JOB NUMBER: 2023-11183

CITYWALK APARTMENTS 12-STORY OPTION
DM COMPANIES
ROCHESTER, MN
STANDARD DETAILS

CB-1
DRAINAGE STRUCTURE TYPE 2
F&I CASTING TYPE 7 - ROCHESTER PLATE NO. 1-12
RIM = 1040.00
INV N = 1036.00' (12" PVC - CB-2)

CB-2
DRAINAGE STRUCTURE TYPE 2
F&I NEENAH R-2558
RIM = 1036.14
INV SE = 1032.24' (12" PVC - CB-1)
INV N = 1032.14' (12" PVC - CB-3)

CB-3
DRAINAGE STRUCTURE TYPE 2
F&I NEENAH R-2558
RIM = 1031.97
INV S = 1028.42' (12" PVC - CB-2)
INV E = 1028.42' (16" PVC - ST-1)
INV N = 1028.32' (16" PVC - CB-4)

STMH-1
DRAINAGE STRUCTURE TYPE 2
F&I CASTING TYPE 4 - ROCHESTER PLATE NO. 1-12
RIM = 1035.96
INV W = 1031.00 (12" RCP - CB-7)
INV S = 1030.72 (EX) (PER 00126 CONST. PLAN - F/V)
INV N = 1030.49 (EX) (PER 00126 CONST. PLAN - F/V)

ST-1
CONNECT TO EX 12" RCP
INV = 1029.18 (15" SDR26 PVC)

ST-2
CONNECT TO EX 12" RCP
INV = 1023.74 (PER 00126 CONST. PLAN - F/V)

EX CB-2
RIM = 1028.32
INV N = 1024.27 (12" RCP - CS-1)
INV N = 1024.17 (EX)

W-1
F&I 8"x8" TAPPING SLEEVE AND VALVE 1.5" WEST
FIELD VERIFY LOCATION OF EXISTING WATER MAIN

W-2
F&I 8"x8" TEE
F&I 8" GATE VALVE & BOX - 3' SOUTH (PRIVATE)
F&I 8"x6" REDUCER - 3' NORTH
F&I 8" GATE VALVE & BOX - 6' NORTH
F&I HYDRANT ASSEMBLY - 9' NORTH
BREAK OFF ELEV. = 1038.76

W-3
F&I 8" 90° BEND

W-4
F&I 8" 90° BEND

W-5
CONNECT TO EXISTING SERVICE
FIELD VERIFY SERVICE LOCATON

UTILITY CROSSING #1
SANITARY SEWER T.O.P. = 1017.41
WATER SERVICE INVERT = 1022.00 (F/V)

UTILITY CROSSING #2
SANITARY SEWER SERVICE T.O.P. = 1018.67 (F/V)
STORM SEWER INVERT = 1022.10

UTILITY CROSSING #3
WATER SERVICE T.O.P. = 1020.59
STORM SEWER INVERT = 1022.09
NOTE: PLACE 4" POLY INSULATION BETWEEN PIPES

UTILITY CROSSING #4
SANITARY SEWER SERVICE T.O.P. = 1019.10
STORM SEWER INVERT = 1025.94

UTILITY CROSSING #5
WATER SERVICE T.O.P. = 1021.77
STORM SEWER INVERT = 1025.89

UTILITY CROSSING #6
SANITARY SEWER SERVICE T.O.P. = 1024.49 (F/V)
STORM SEWER INVERT = 1028.79

UTILITY CROSSING #7
WATER SERVICE T.O.P. = 1025.11
STORM SEWER INVERT = 1028.85

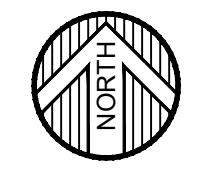
UTILITY CROSSING #8
SANITARY SEWER SERVICE T.O.P. = 1028.66 (F/V)
STORM SEWER INVERT = 1033.06

UTILITY CROSSING #9
WATER SERVICE T.O.P. = 1028.96 (F/V)
STORM SEWER INVERT = 1033.19

UTILITY CROSSING #10
WATER SERVICE T.O.P. = 1031.95 (F/V)
STORM SEWER INVERT = 1034.05 (F/V)

UTILITY CROSSING #11
SANITARY SEWER T.O.P. = 1030.37 (F/V)
WATERMAIN INVERT = 1032.41 (F/V)
**NOTE: IF, UPON INSPECTION, THERE WILL BE LESS THAN 1.5' VERTICAL CLEARANCE, CONTACT ENGINEER.

UTILITY CROSSING #12
SANITARY SEWER T.O.P. = 1024.89
STORM SEWER INVERT = 1032.05



City of **ROCHESTER** Minnesota
Department of Public Services
CITYWALK APARTMENTS
CITY PROJECT NO. J-5586

RECOMMENDED FOR APPROVAL _____ DATE _____ CITY ENGINEER _____

RECOMMENDED FOR APPROVAL _____ DATE _____ RPU - WATER DEPARTMENT _____

PROPOSER: GMH COMMUNITIES
10 CAMPUS BOULEVARD
NEWTON SQUARE, PA 190737
CONTACT: KEVIN LYDEN
PH: 610-600-1052
EMAIL: KLEYDEN@GMHCOMMUNITIES.COM

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ST. PAUL, MN 55114
CONTACT: JESSE HAMER
PH: (612) 859-5833
EMAIL: JESSE@MDGARCHITECTS.COM

CIVIL ENGINEER: WIDSETH SMITH NOLTING
3777 40TH AVE NW, SUITE 200
ROCHESTER, MN 55901
CONTACT: CRAIG BRITTON
PH: (507) 206-2125
EMAIL: CRAIG.BRITTON@WIDSETH.COM

CB-4
DRAINAGE STRUCTURE TYPE 2
F&I NEENAH R-2558
RIM = 1032.08
INV S = 1028.18' (16" PVC - CB-3)
INV N = 1028.08' (16" PVC - CB-5)

CB-5
DRAINAGE STRUCTURE TYPE 1
F&I NEENAH R-3067-V
CONNECT TO EXISTING STORM SEWER (2 EACH)
RIM = 1029.08
INV W = 1026.05 (12" RCP - EX)
INV S = 1026.15 (16" PVC - CB-4)
INV E = 1026.05 (15" RCP - EX CB-1)

CS-1
DRAINAGE STRUCTURE TYPE 1
F&I NEENAH R-2558
RIM = 1030.60
INV NW = 1026.42 (12" RCP - EX CB-2)

W-6
F&I 1.5" CURB STOP AND BOX - SDP 6-11 AND 1-10

W-7
F&I 1.5" CORPORATION STOP - SDP 6-11
F&I DOUBLE STRAP IRON SERVICE SADDLE

UTILITY CROSSING #10
WATER SERVICE T.O.P. = 1031.95 (F/V)
STORM SEWER INVERT = 1034.05 (F/V)

UTILITY CROSSING #11
SANITARY SEWER T.O.P. = 1030.37 (F/V)
WATERMAIN INVERT = 1032.41 (F/V)
**NOTE: IF, UPON INSPECTION, THERE WILL BE LESS THAN 1.5' VERTICAL CLEARANCE, CONTACT ENGINEER.

UTILITY CROSSING #12
SANITARY SEWER T.O.P. = 1024.89
STORM SEWER INVERT = 1032.05

UTILITY CROSSING #5
WATER SERVICE T.O.P. = 1021.77
STORM SEWER INVERT = 1025.89

UTILITY CROSSING #6
SANITARY SEWER SERVICE T.O.P. = 1024.49 (F/V)
STORM SEWER INVERT = 1028.79

UTILITY CROSSING #7
WATER SERVICE T.O.P. = 1025.11
STORM SEWER INVERT = 1028.85

UTILITY CROSSING #8
SANITARY SEWER SERVICE T.O.P. = 1028.66 (F/V)
STORM SEWER INVERT = 1033.06

UTILITY CROSSING #9
WATER SERVICE T.O.P. = 1028.96 (F/V)
STORM SEWER INVERT = 1033.19

UTILITY CROSSING #10
WATER SERVICE T.O.P. = 1031.95 (F/V)
STORM SEWER INVERT = 1034.05 (F/V)

UTILITY CROSSING #11
SANITARY SEWER T.O.P. = 1030.37 (F/V)
WATERMAIN INVERT = 1032.41 (F/V)
**NOTE: IF, UPON INSPECTION, THERE WILL BE LESS THAN 1.5' VERTICAL CLEARANCE, CONTACT ENGINEER.

UTILITY CROSSING #12
SANITARY SEWER T.O.P. = 1024.89
STORM SEWER INVERT = 1032.05

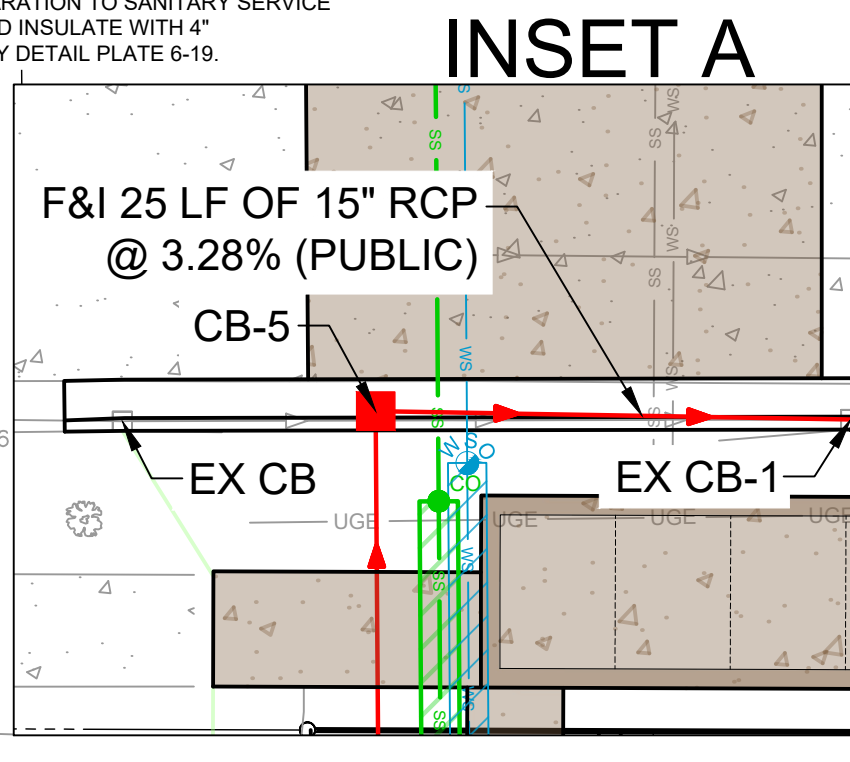
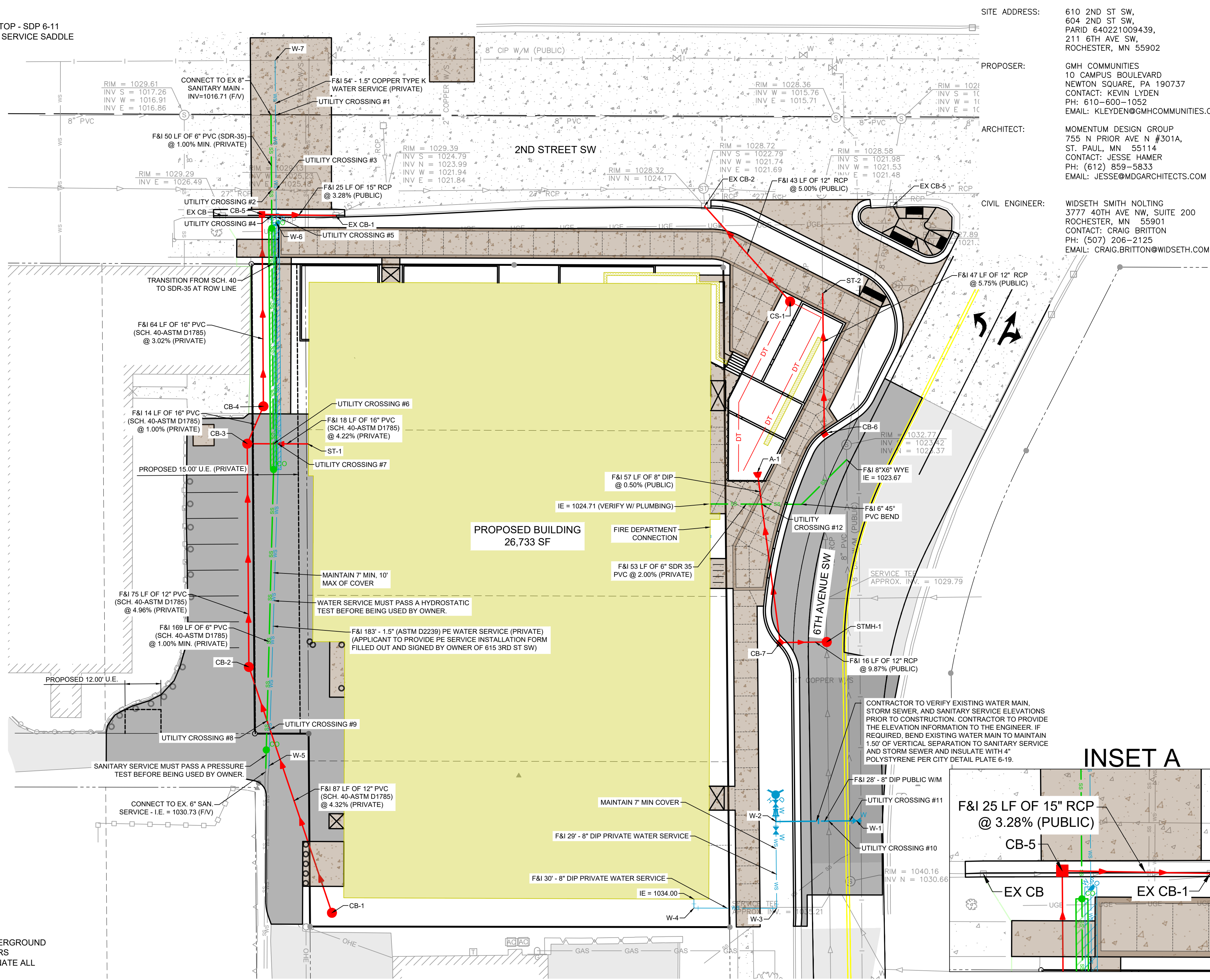
PROPOSED FEATURES LEGEND

	PROPOSED CONCRETE
	PROPOSED EXPOSED AGG CONCRETE
	PROPOSED BITUMINOUS
	PROPOSED BUILDING
	PROPOSED BALCONY/STAIRS
	PROPOSED CURB STOP
	PROPOSED GATE VALVE
	PROPOSED CURB STOP
	PROPOSED 90° BEND, TEE, REDUCER
	PROPOSED BOLLARD (SEE DETAIL)
	PROPOSED STORM INLET
	PROPOSED SANITARY CLEANOUT (SDP 1-06)
	PROPOSED WATER SERVICE
	PROPOSED STORM SEWER
	PROPOSED DRAIN TILE
	PROPOSED SANITARY SERVICE
	PROPOSED WATERMAIN
	PROPOSED RETAINING WALL
	PROPOSED GUARDRAIL

EXISTING FEATURES LEGEND

	EXISTING BENCH MARK		EXISTING PROPERTY BOUNDARY
	EXISTING FLAG POLE		EXISTING LOT LINE
	EXISTING GUARD POST		EXISTING RIGHT OF WAY
	EXISTING SIGN SINGLE POST		EXISTING SECTION LINE
	EXISTING SHRUB		EXISTING FENCE CHAIN LINK
	EXISTING TREE DECIDUOUS		EXISTING FENCE WOOD
	EXISTING TREE CONIFER		EXISTING OVERHEAD ELECTRIC
	EXISTING SANITARY MANHOLE		EXISTING UNDERGROUND ELECTRIC
	EXISTING STORM MANHOLE		EXISTING OVERHEAD TELE
	EXISTING STORM INLET		EXISTING UNDERGROUND TELE
	EXISTING STORM CATCH BASIN		EXISTING SANITARY SEWER
	EXISTING YARD LIGHT		EXISTING SANITARY SEWER SERVICE
	EXISTING ELEC LIGHT POLE		EXISTING STORM SEWER
	EXISTING ELEC POLE		EXISTING UNDERGROUND GAS
	EXISTING ELEC METER		EXISTING WATERMAIN
	EXISTING TELE PEDESTAL		EXISTING WATERMAIN SERVICE
	EXISTING TELE HANDHOLE		EXISTING RETAINING WALL
	EXISTING GAS METER		EXISTING BUILDING WALL
	EXISTING GAS VALVE		EXISTING BITUMINOUS SURFACE
	EXISTING WATER HYDRANT		EXISTING CONCRETE SURFACE
	EXISTING WATER VALVE		EXISTING AIR CONDITIONER UNIT
	EXISTING WATER CURB STOP		

CAUTION
ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.



WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

CITYWALK APARTMENTS 12-STORY OPTION
DM COMPANIES
ROCHESTER, MN
UTILITY PLAN

DATE: AUGUST 2023
SCALE: AS SHOWN
DRAWN BY: A.A.P.
CHECKED BY: C.N.B.

REVISIONS DESCRIPTION
12 - STORY UPDATES

DATE: 9-23-2023

BY: [Signature]

DATE: 08/23/2023 LIC. NO. 4428
CRAIG N. BRITTON

SHEET NO. **C3.1**

SITE ADDRESS: 610 2ND ST SW,
804 2ND ST SW,
PARID 640221009439,
211 6TH AVE SW
ROCHESTER, MN 55902

PROPOSER: GMH COMMUNITIES
10 CAMPUS BOULEVARD
NEWTON SQUARE, PA 190737
CONTACT: KEVIN LYDEN
PH: 610-600-1052
EMAIL: KLEYDEN@GMHCOMMUNITIES.COM

ARCHITECT: MOMENTUM DESIGN GROUP
755 N PRIOR AVE N #301A,
ST. PAUL, MN 55114
CONTACT: JESSE HAMER
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EMAIL: JESSE@MDGARCHITECTS.COM

CIVIL ENGINEER: WIDSETH SMITH NOLTING
3777 40TH AVE NW, SUITE 200
ROCHESTER, MN 55901
CONTACT: CRAIG BRITTON
PH: (507) 206-2125
EMAIL: CRAIG.BRITTON@WIDSETH.COM

ITEM	AREA (AC)
PARCEL IDENTIFICATION NUMBERS (ALLEY NOT INCLUDED)	640221009443 640221009444 640221009441 640221009439 640221081804
COMBINED PARCEL AREA (TOTAL)	0.780
PLATTED AREA - INCLUDING ALLEY	1.320
DISTURBED AREA	1.320
SLOPES >18% REMAINING	0.011
DEVELOPABLE AREA	0.780
PRE-DEVELOPMENT IMPERVIOUS AREA	0.739
PRE-DEVELOPMENT PERVIOUS AREA	0.041
POST-DEVELOPMENT IMPERVIOUS AREA	0.724
POST-DEVELOPMENT PERVIOUS AREA	0.056
PROPOSED NEW IMPERVIOUS AREA	-0.015

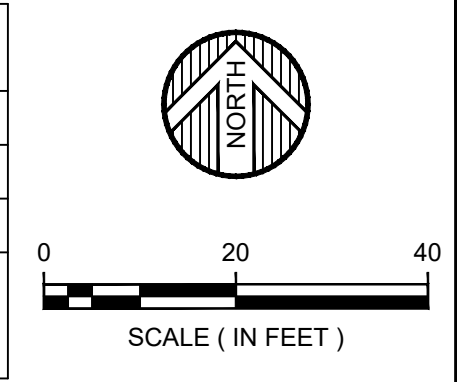
- CB-1 DRAINAGE STRUCTURE TYPE 2
F&I CASTING TYPE 7 - ROCHESTER PLATE NO. 1-12
RIM = 1040.00
INV N = 1036.00' (12" PVC - CB-2)
- CB-2 DRAINAGE STRUCTURE TYPE 2
F&I NEENAH R-2558
RIM = 1036.14
INV SE = 1032.24' (12" PVC - CB-1)
INV N = 1032.14' (12" PVC - CB-3)
- CB-3 DRAINAGE STRUCTURE TYPE 2
F&I NEENAH R-2558
RIM = 1031.97
INV S = 1028.42' (12" PVC - CB-2)
INV E = 1028.42' (16" PVC - ST-1)
INV N = 1028.32' (16" PVC - CB-4)
- CB-4 DRAINAGE STRUCTURE TYPE 2
F&I NEENAH R-2558
RIM = 1032.08
INV S = 1028.18' (16" PVC - CB-3)
INV N = 1028.08' (16" PVC - CB-5)
- CB-5 DRAINAGE STRUCTURE TYPE 1
F&I NEENAH R-3067-V
CONNECT TO EXISTING STORM SEWER (2 EACH)
RIM = 1029.08
INV S = 1026.05 (12" RCP - EX)
INV E = 1026.15 (16" PVC - CB-4)
INV N = 1026.05 (15" RCP - EX CB-1)
- CB-6 DRAINAGE STRUCTURE TYPE 1
F&I NEENAH R-3067-V
RIM = 1032.21
INV S = 1026.71 (12" RCP - EX) (PER 00126 CONST. PLAN - F/V)
INV N = 1026.48 (12" RCP - ST-2) (PER 00126 CONST. PLAN - F/V)
- CB-7 DRAINAGE STRUCTURE TYPE 1
F&I NEENAH R-3067-V
RIM = 1035.50
INV E = 1032.54 (12" RCP - STMH-1)
INV N = 1032.29 (8" DIP - A-1)
- STMH-1 DRAINAGE STRUCTURE TYPE 2
F&I CASTING TYPE 4 - ROCHESTER PLATE NO. 1-12
RIM = 1035.96
INV W = 1031.00 (12" RCP - CB-7)
INV S = 1030.72 (EX) (PER 00126 CONST. PLAN - F/V)
INV N = 1030.49 (EX) (PER 00126 CONST. PLAN - F/V)
- ST-1 INV = 1029.18 (15" SDR26 PVC)
- ST-2 CONNECT TO EX 12" RCP
INV = 1023.74 (PER 00126 CONST. PLAN - F/V)

- EX CB-2 RIM = 1028.32
INV N = 1024.27 (12" RCP - CS-1)
INV N = 1024.17 (EX)
- A-1 INV = 1032.00 (8" DIP - CB-7)
- CS-1 DRAINAGE STRUCTURE TYPE 1
F&I NEENAH R-2558
RIM = 1030.60
INV NW = 1026.42 (12" RCP - EX CB-2)

AREAS WITHIN PROJECT DISTURBANCE LIMITS	
ITEM	AREA (AC)
TOTAL DISTURBED AREA	1.320
PRE-DEVELOPMENT IMPERVIOUS AREA	1.163
PRE-DEVELOPMENT PERVIOUS AREA	0.157
POST-DEVELOPMENT IMPERVIOUS AREA	1.134
POST-DEVELOPMENT PERVIOUS AREA	0.186
PROPOSED NEW IMPERVIOUS AREA	-0.029

EARTHWORK	
CUT	150 C.Y.
FILL	200 C.Y.
NET CUT	50 C.Y.

EARTHWORK QUANTITIES ARE BASED UPON THE COMPARISON OF THE EXISTING AND PROPOSED FINISHED SURFACES.



SWPPP, GRADING, & GENERAL NOTES:

- AN NPDES PERMIT SHALL BE APPLIED FOR BY THE OWNER AND CONTRACTOR IF DISTURBED AREA EXCEEDS 1 ACRE. AN NPDES PERMIT **WILL** BE REQUIRED FOR THIS PROJECT.
- ALL EROSION CONTROL AND SILTATION CONTROL SHALL COMPLY WITH THE MINNESOTA POLLUTION CONTROL AGENCY (MPCA) STORMWATER MANUAL AND THE REGULATIONS OF THE CITY OF ROCHESTER AND OLMSSET COUNTY.
- SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP'S), WHICH PREVENT SEDIMENT FROM ENTERING A WATER OF THE STATE, SHALL BE ESTABLISHED BEFORE LAND DISTURBING OPERATIONS BEGIN AND SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED.
INLET PROTECTION - PER CITY OF ROCHESTER STANDARD PLATE NO. 7-05
TEMPORARY ROCK CONSTRUCTION ENTRANCE - PER CITY OF ROCHESTER STANDARD PLATE NO. 7-06
CONCRETE WASHOUT AREA - PER MPCA GUIDELINES - LOCATION TO BE COORDINATED BY CONTRACTOR.
- TEMPORARY STABILIZATION - TOPSOIL STOCK PILES AND DISTURBED SOIL AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 7 DAYS WILL BE STABILIZED WITH TEMPORARY SEEDING AND MULCH NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED SHALL BE MIX 22-111 APPLIED AT THE RATE OF 30.50 LBS PER ACRE. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH TWO (2) TONS PER ACRE OF STRAW. THE STRAW MULCH IS TO BE TACKED INTO PLACE BY A DISK WITH THE BLADES SET NEARLY STRAIGHT.
- PERMANENT STABILIZATION - ALL DISTURBED PERVIOUS AREAS SHALL BE SEEDED UNLESS OTHERWISE NOTED OR SHOWN IN PLANS. ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT IN NO CASE LATER THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. A MINIMUM DEPTH OF FOUR (4) INCHES OF TOPSOIL IS REQUIRED FOR ALL PERMANENT VEGETATIVE COVER. PERMANENT EROSION CONTROL WILL BE ACHIEVED BY USING SEED MIXTURE 25-131 AT A RATE OF 220 LBS/AC, TYPE 1 FERTILIZER WITH A COMPOSITION OF 0-10-20 AT A RATE OF 350 LBS/AC, AND MULCH MATERIAL TYPE 1 AT 2 TONS / ACRE ON ALL DISTURBED CONSTRUCTION AREAS.
- WHERE FINAL STABILIZATION IS NOT COMPLETED BY NOVEMBER 15TH, ALL DISTURBED AREAS SHALL BE DORMANT SEEDED AND COVERED WITH CATEGORY 3 EROSION CONTROL BLANKET. TEMPORARY SEED MIX 22-111 SHALL BE APPLIED AT A RATE OF 30.50 LBS/ACRE. AFTER SEEDING, CAT 3 EROSION CONTROL BLANKET SHALL BE PLACED AND TACKED INTO PLACE.
- THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE, OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER.
- PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR OUTLET.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT SEDIMENT DOES NOT LEAVE THIS SITE. IT IS REQUIRED THAT THE CONTRACTOR INSTALL A STABILIZED VEHICLE EXIT TO KEEP SEDIMENT TRACKING TO A MINIMUM. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY UNTIL ACCEPTANCE OF THE WORK BY THE OWNERS.
- ANY DEPOSITING OF SEDIMENT OR DEBRIS ON NEW OR EXISTING PAVEMENT, OR IN EXISTING STORM SEWERS SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED. ANY TRACKING OF SEDIMENT OR DEBRIS FROM CONSTRUCTION TRAFFIC ONTO PUBLIC RIGHT OF WAY SHALL BE REMOVED BY THE END OF EACH WORK DAY AND AFFECTED AREAS CLEANED.
- THE CONTRACTOR SHALL INSPECT THE CONSTRUCTION SITE ONCE EVERY SEVEN DAYS AND WITHIN 24 HOURS AFTER RAIN EVENTS FOR DAMAGE TO EROSION CONTROL DEVICES. IF DAMAGED OR INEFFECTIVE EROSION CONTROL DEVICES ARE DISCOVERED, THEY SHALL BE REPAIRED OR REPLACED. THE CONTRACTOR SHALL MAINTAIN RECORDS, WHICH INCLUDE DATE AND TIME OF INSPECTIONS, DATES OF RAINFALL EVENTS, FINDINGS OF INSPECTIONS, CORRECTIVE ACTIONS TAKEN (INCLUDING DATES AND TIMES), AND DOCUMENTATION OF ANY CHANGES TO THE TEMPORARY OR PERMANENT EROSION CONTROL PLANS MADE DURING CONSTRUCTION.
- STORM WATER RUNOFF FROM THE SITE WILL BE COLLECTED AND ROUTED TO THE EXISTING CITY AND STATE STORM SEWER SYSTEM. IT EVENTUALLY DISCHARGES IN THE ZUMBRO RIVER, SOUTH FORK. (AN IMPAIRED RIVER WITHIN 1 MILE OF SITE THAT RECEIVES RUNOFF FROM THE SITE).
- CONTRACTOR IS RESPONSIBLE FOR ALL SITE CLEARING, GRUBBING AND REMOVALS. COORDINATE THE REMOVAL OF UNDERGROUND UTILITIES.
- ALL PROPOSED ELEVATIONS ARE TO TOP OF PAVING OR FINISHED GRADE, UNLESS NOTED OTHERWISE. PROPOSED ELEVATIONS ARE INTENDED TO PROVIDE POSITIVE DRAINAGE TOWARDS CATCH BASINS. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE REQUIRED ELEVATIONS, WHICH WILL PROMOTE POSITIVE DRAINAGE THROUGHOUT THE PROJECT SITE.
- THE SITE HAS NOT NECESSARILY BEEN DESIGNED TO BALANCE THE ON-SITE MATERIALS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EARTHWORK QUANTITY ON THIS SITE. EXCESS MATERIAL, IF ANY SHALL BE DISPOSED OF OFF-SITE. THE CONTRACTOR SHALL IMPORT SUITABLE MATERIAL AS NEEDED.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE ENGINEERING DEPARTMENTS AND UTILITY COMPANIES 72 HOURS PRIOR TO CONSTRUCTION. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING UTILITIES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION.
- MAINTAIN MINIMUM 1.5' VERTICAL SEPARATION BETWEEN SEWER (SANITARY AND STORM) AND WATER MAIN.
- SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, OR NEAR THE CONSTRUCTION SITE.
- PARKING LOT AND UTILITIES CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR STREET AND UTILITY CONSTRUCTION" BY THE CITY OF ROCHESTER.
- THE CONTRACTOR SHALL MAINTAIN A 2.0% MAX. CROSS SLOPE ON ALL SIDEWALK AND ON ALL SIDEWALK THROUGH DRIVEWAY ENTRANCES.
- THE CONTRACTOR SHALL PROTECT AND STABILIZE EXISTING UTILITY POLES DURING CONSTRUCTION ACTIVITIES.
- SOME SLOPES ON SITE EXCEED 4:1. SLOPES STEEPER THAN 4:1 SHALL BE STABLE FROM LAND SLIDING AND SURFACE EROSION.
- THE OWNER IS AWARE THAT SOME GRADES ON THE SITE ARE LESS THAN 2.0%. LOCALIZED PONDING MAY OCCUR AND THEY ACCEPT ALL IMPACT.
- COMPACTION OF THE SOIL BENEATH THE FILTRATION BASINS SHOULD BE AVOIDED BY MINIMIZING CONSTRUCTION TRAFFIC WITHIN THE FOOTPRINT OF THE FILTRATION BASIN.

EXISTING FEATURES LEGEND

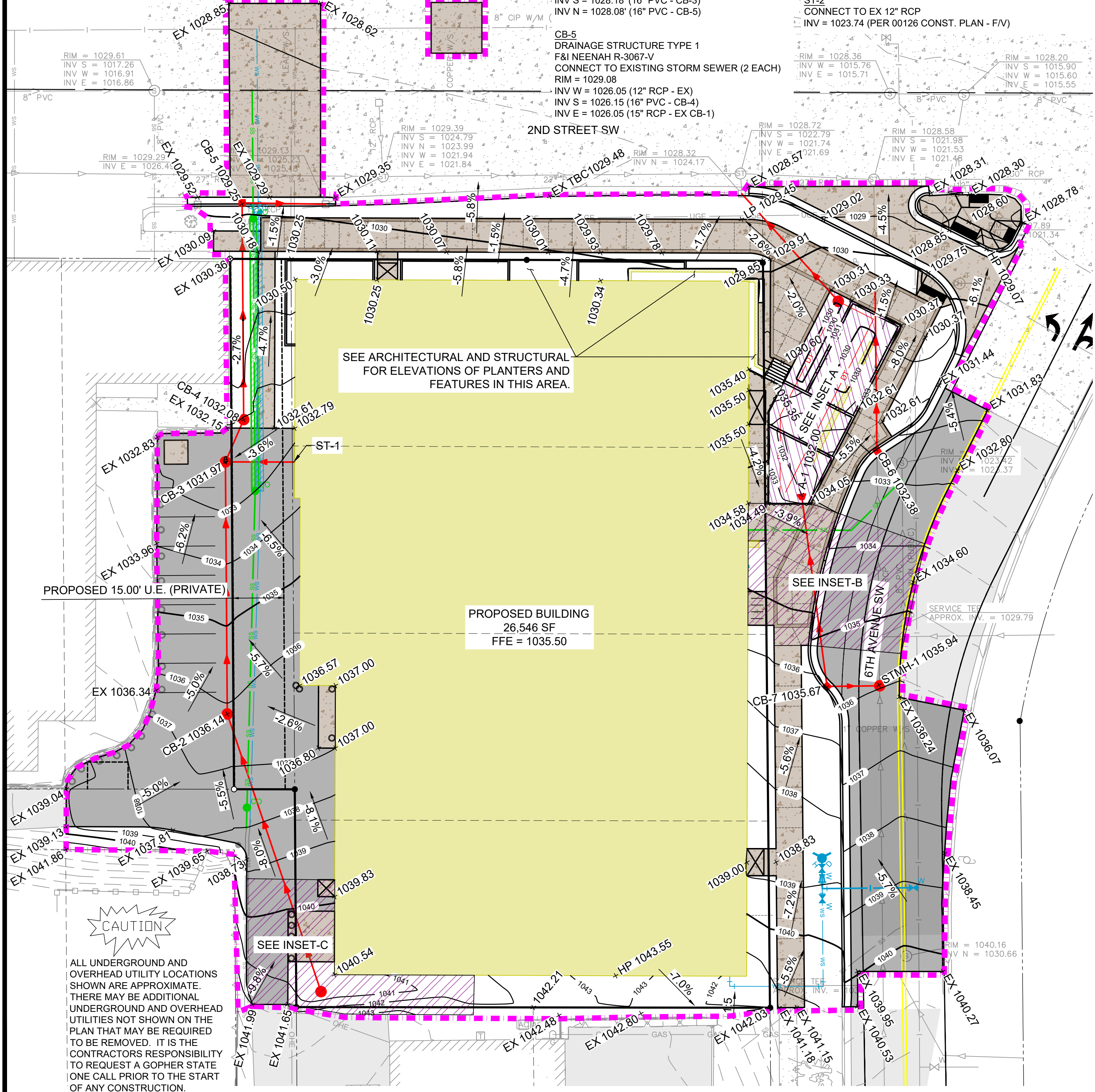
	EXISTING BENCH MARK		EXISTING PROPERTY BOUNDARY
	EXISTING FLAG POLE		EXISTING LOT LINE
	EXISTING GUARD POST		EXISTING RIGHT OF WAY
	EXISTING SIGN SINGLE POST		EXISTING SECTION LINE
	EXISTING SHRUB		EXISTING FENCE CHAIN LINK
	EXISTING TREE DECIDUOUS		EXISTING FENCE WOOD
	EXISTING TREE CONIFER		EXISTING OVERHEAD ELECTRIC
	EXISTING SANITARY MANHOLE		EXISTING UNDERGROUND ELECTRIC
	EXISTING STORM MANHOLE		EXISTING OVERHEAD TELE
	EXISTING STORM INLET		EXISTING UNDERGROUND TELE
	EXISTING STORM CATCH BASIN		EXISTING SANITARY SEWER
	EXISTING YARD LIGHT		EXISTING SANITARY SEWER SERVICE
	EXISTING ELEC LIGHT POLE		EXISTING STORM SEWER
	EXISTING ELEC POLE		EXISTING UNDERGROUND GAS
	EXISTING ELEC METER		EXISTING WATERMAIN
	EXISTING TELE PEDESTAL		EXISTING WATERMAIN SERVICE
	EXISTING TELE HANDHOLE		EXISTING RETAINING WALL
	EXISTING GAS METER		EXISTING BUILDING WALL
	EXISTING GAS VALVE		EXISTING BITUMINOUS SURFACE
	EXISTING WATER HYDRANT		EXISTING CONCRETE SURFACE
	EXISTING WATER VALVE		
	EXISTING WATER CURB STOP		
	EXISTING AIR CONDITIONER UNIT		

PROPOSED FEATURES LEGEND

	PROPOSED CONCRETE
	PROPOSED EXPOSED AGG CONCRETE
	PROPOSED BITUMINOUS
	PROPOSED BUILDING
	PROPOSED BALCONY/STAIRS
	PROPOSED CURB STOP
	PROPOSED GATE VALVE
	PROPOSED CURB STOP
	PROPOSED 90° BEND, TEE, REDUCER
	PROPOSED BOLLARD (SEE DETAIL)
	PROPOSED STORM INLET
	PROPOSED SANITARY CLEANOUT (SDP 1-06)
	PROPOSED WATER SERVICE
	PROPOSED STORM SEWER
	PROPOSED DRAIN TILE
	PROPOSED SANITARY SERVICE
	PROPOSED WATERMAIN
	PROPOSED RETAINING WALL
	PROPOSED GUARDRAIL
	PROPOSED EMERGENCY OVERFLOW ROUTE
	DENOTES CONSTRUCTION LIMITS
	DENOTES PROPOSED CONTOUR ANNOTATION
	DENOTES PROPOSED GUTTER OR FINISH ELEV. (UNLESS OTHERWISE NOTED)
	DENOTES PROPOSED DRAINAGE ARROW

UTILITY NOTES:

- ALL WORK NEEDS TO BE COMPLETED BY A LICENSED CONTRACTOR WITHIN THE CITY OF ROCHESTER
- ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCHESTER SPECIFICATIONS AND DETAILS - LATEST EDITION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY CONNECTION PERMITS FROM THE CITY OF ROCHESTER PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL CONTACT RPU PRIOR TO START OF WORK (DISCONNECTION OF SERVICES AND INSTALLATION OF NEW SERVICES).



WIDSETH
ARCHITECTS • ENGINEERS • SURVEYORS

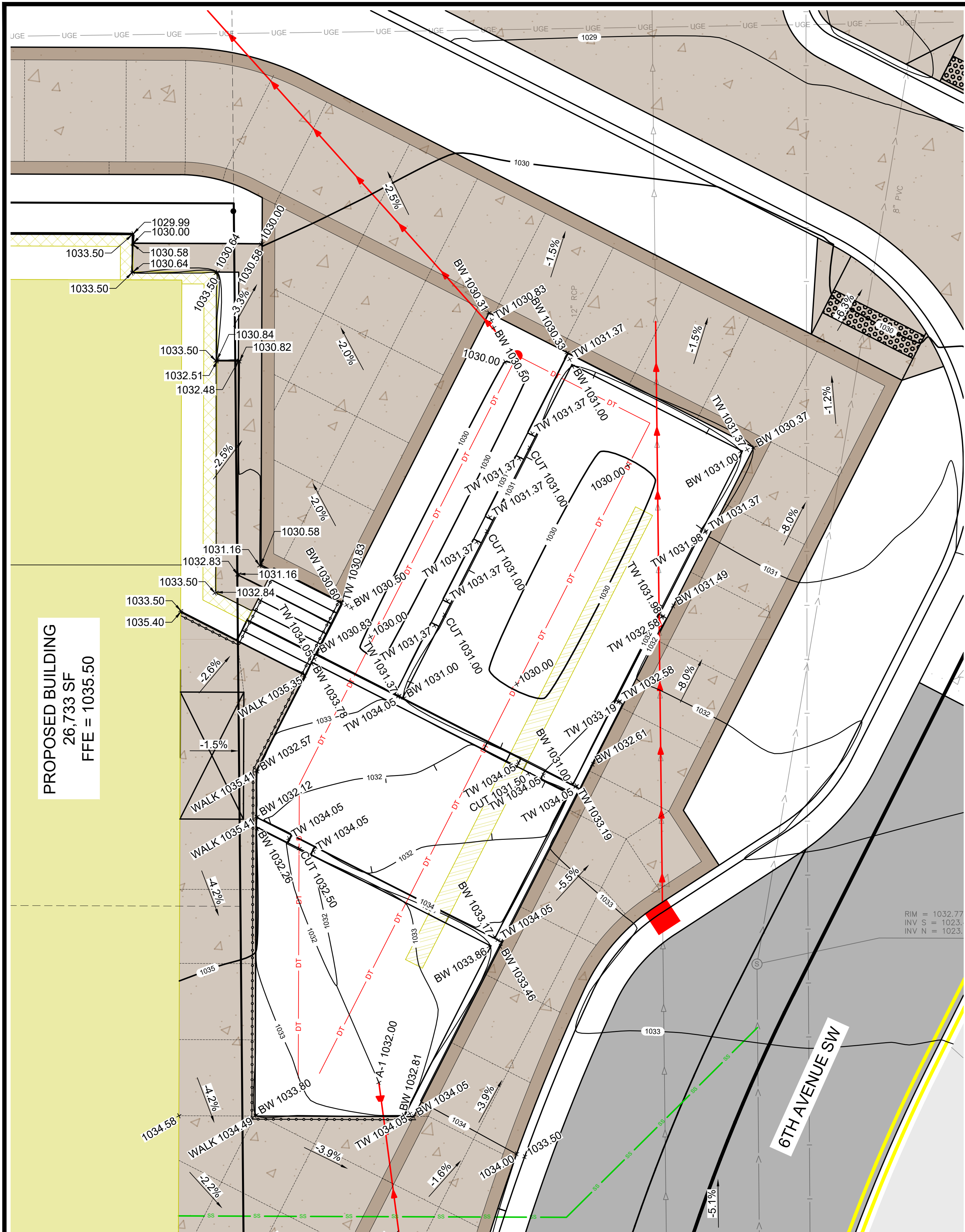
DATE: AUGUST 2023
SCALE: AS SHOWN
DRAWN BY: A.A.P.
CHECKED BY: C.N.B.

REVISIONS DESCRIPTION
DATE REV# DESCRIPTION
9-23-2023 1 12 - STORY UPDATES

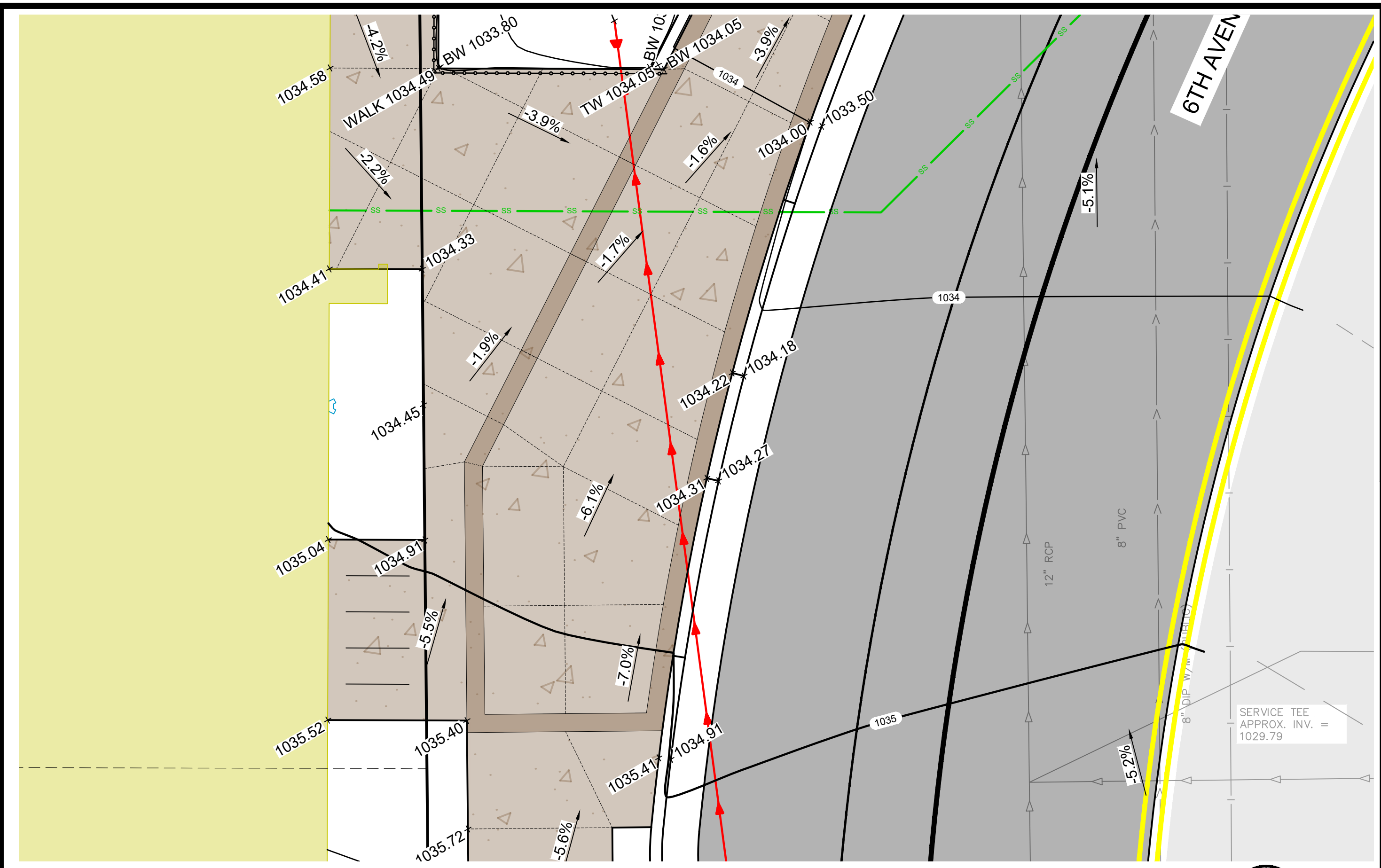
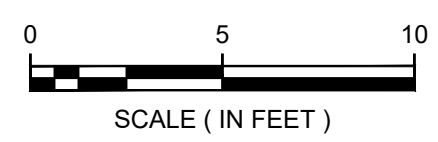
CITYWALK APARTMENTS 12-STORY OPTION
DM COMPANIES
ROCHESTER, MN
GRADING PLAN

SHEET NO. **C4.0**

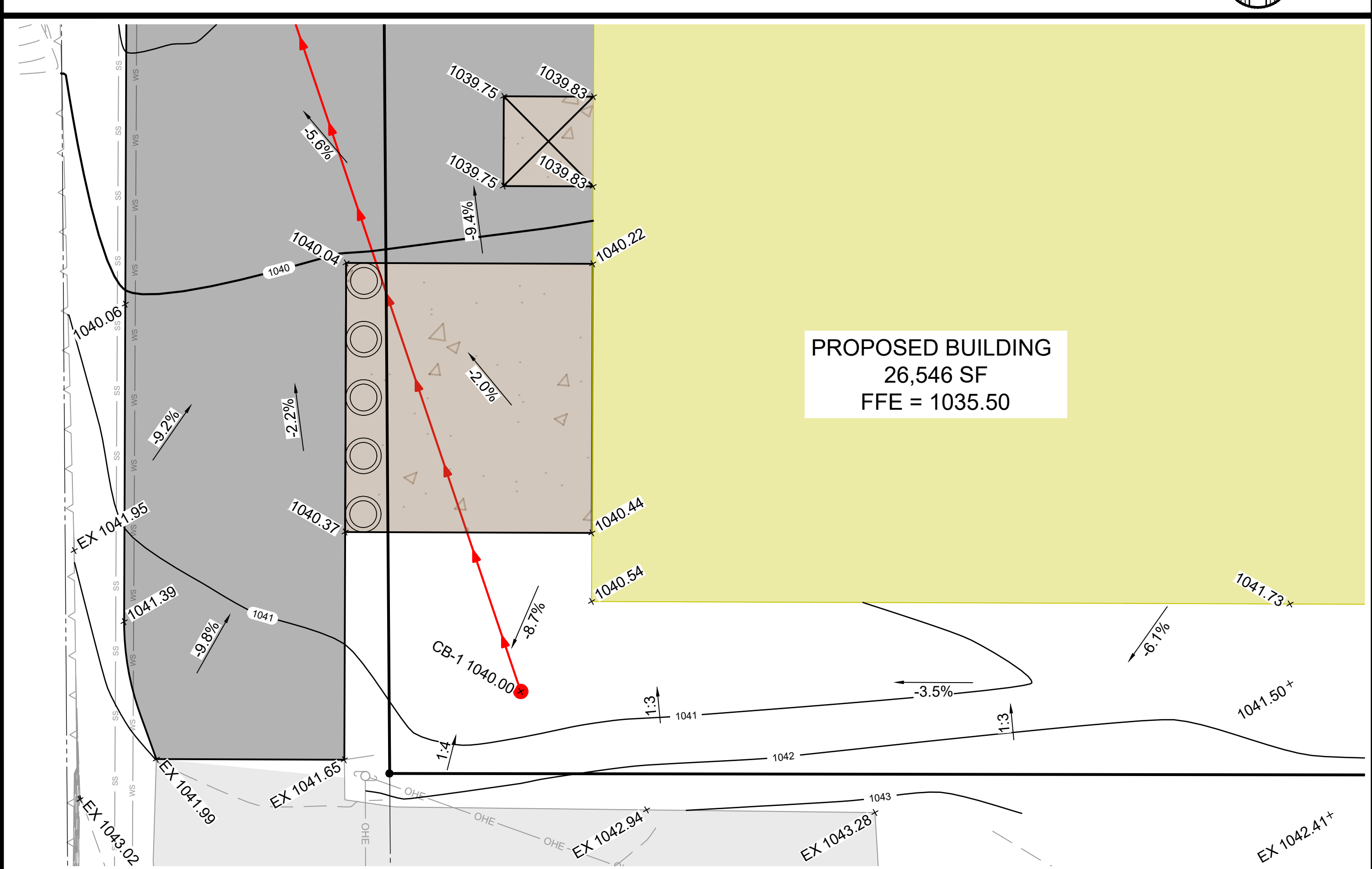
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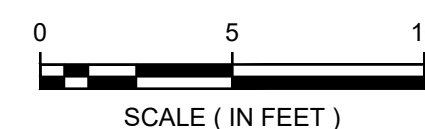
INSET A



INSET B



INSET C



BY: [Signature]
DATE: 08/23/2023 LIC. NO. 4428

DATE	REVISION DESCRIPTION
8-23-2023	1 12-STORY UPDATES

DATE: AUGUST, 2023
SCALE: AS SHOWN
DRAWN BY: A.A.P.
CHECKED BY: C.N.B.
JOB NUMBER: 2023-11183

CITYWALK APARTMENTS 12-STORY OPTION
DM COMPANIES
ROCHESTER, MN
GRADING PLAN

STORM WATER POLLUTION PREVENTION PLAN NARRATIVE:

Project Location:

The proposed project encompasses 604 & 610 2nd St. SW, 211 6th Ave SW, and Parcel #640221009439.

Existing Site Description:

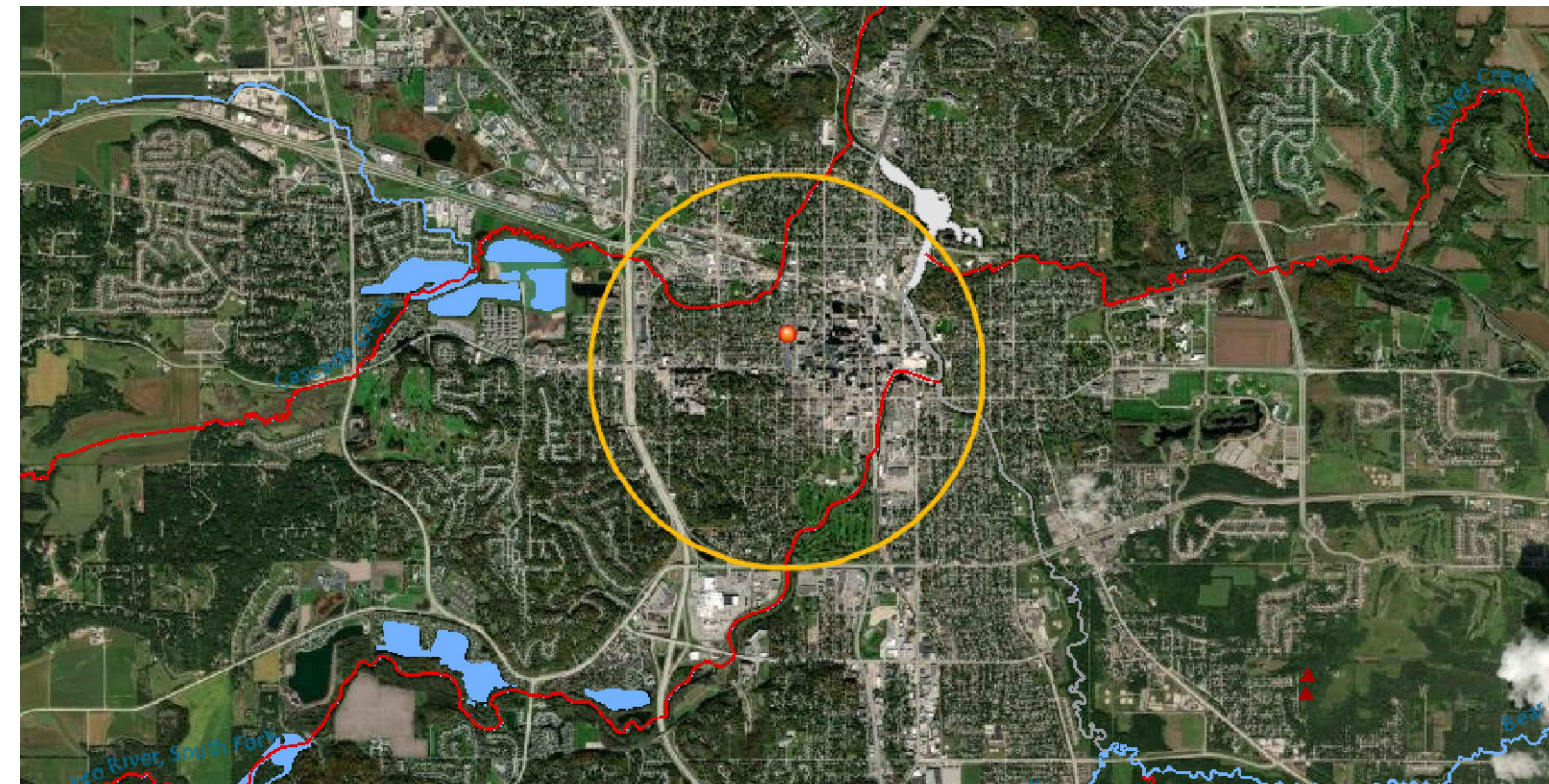
The existing area is comprised of 5 buildings, paved areas, and limited green space.

Proposed Site Description:

Proposed work shall include the construction of a 327,934 SF, 12 story apartment building with a footprint of 26,568 SF. There will be sidewalk and paved surfaces surrounding the building. Storm water will be directed towards existing or proposed catch basins and eventually flow into existing storm water system. Some water will flow through a rain garden feature.

Receiving Waters:

Water Body	Type	Special Water?	Impaired Water?	Approved TMDL?	Less than 1 Mile from Site?	Pollutant
Zumbro River, South Fork	River	No	Yes	Yes	Yes	Fecal Coliform, Turbidity, Benthic Macroinvertebrate Bioassessments
Silver Lake	Lake	No	Yes	Yes	Yes	Mercury in fish tissue



Dates of Construction:

The project will be started Spring, 2022, with construction being completed by Fall, 2022.

Contact Information:

Owner: GMH COMMUNITIES
 KEVIN LYDEN
 10 CAMPUS BOULEVARD
 NEWTON SQUARE, PA 190737
 KLEYDEN@GMHCOMMUNITIES.COM

Contractor: TBD

Estimated Erosion Prevention and Sediment Control Quantities

Item	Estimated Quantity
Bio Logs	118 LF
Inlet Control	11 Each
Silt Fence	332 LF
Rock Const Entrance	1 Each
Temporary Seed Mix 22-111	As Needed
Permanent Seed Mix 25-131	39 LB
Erosion Control Blanket	1,140 SF

Dewatering:

If dewatering is required on the site, there must be a plan in place to prevent nuisance conditions, erosion, and inundation of wetlands.

Dewatering related to the construction activity must comply with MNR100001 Permit 2018 reference 10 of the NPDES Permit. Dewatering discharge that may have turbid or sediment laden discharge must be discharged to a temporary or permanent sedimentation basin on the project site whenever possible and BMP's must be implemented to prevent water containing sediment or other pollutants from being discharged to surface waters or downstream properties.

If using filters with backwash water, backwash water must be hauled away for disposal, returned to the beginning of the treatment process, or incorporated into the site in a manner that does not erode into runoff.

Total disturbed area within project areas are as follows:

Project Disturbed Area =	1.32 AC
Existing Impervious =	1.27 AC
Proposed Impervious Area =	1.19 AC

Unique Storm Water Management Features

There are no unique storm water management features proposed on site. Storm water discharge from the site is collected in the existing or proposed storm structures and routed to the east after connecting into existing public infrastructure.

TMDL Implementation Plans Containing Storm Water Requirements

The Zumbro River South Fork is an impaired water within 1 mile of the site receiving storm water from the site. It has an approved TMDL for Benthic macroinvertebrate bioassessments, Fecal Coliform, and Turbidity.

Long Term Maintenance

Long term maintenance of the permanent storm water management system shall include maintaining the vegetated areas and periodic removal of sediment from the catch basins.

Erosion Control Supervisor Requirements

The Contractor must identify an Erosion Control Supervisor (ECS) who is knowledgeable and experienced in the application of erosion and sediment control Best Management Practices (BMP's). The ECS must work with the Contractor to oversee and implement the SWPPP, and the installation, inspection, and maintenance of erosion and sediment control BMP's before, during and after construction. The Contractor/ECS is required to comply with the training requirements in 2018 Permit Reference 21 of the NPDES Permit. The permittee(s) shall ensure that employees are properly trained in the following areas with certification proof provided at the pre-construction conference.

SWPPP Preparation:

Name: Adam Pleschourt, PE

Dates of instruction and training specifics are on file at Widsseth and are available upon request.

Site Manager:

Name: _____
 Dates of Training: _____
 Instructors Name providing Training: _____
 Content of Training (incl. hours): _____

BMP Installer:

Name: _____
 Dates of Training: _____
 Instructors Name providing Training: _____
 Content of Training (incl. hours): _____

The Contractor/ECS shall develop a chain of responsibility with all operators on the site to ensure that the SWPPP will be implemented and stay in effect until the project site has undergone Permit Termination Conditions in accordance with 2018 Permit Reference 13 of the NPDES Permit and a Notice of Termination (NOT) has been submitted to the MPCA in accordance with 2018 Permit Reference 4 of the NPDES Permit. The Contractor/ECS must routinely inspect the entire construction site at least once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inch in 24 hours. The Contractor shall take action to eliminate any deficiencies found during these inspections. The Contractor must provide 2 rain gauges to be installed on the construction site. Inspections, maintenance and documentation must be in accordance with the NPDES Permit 2018 Permit Reference 11. See 2018 Permit Reference 24.5 of the NPDES Permit for record retention requirements. Copies of the inspection records are to be submitted to the Engineer.

The Contractor/ECS must amend the SWPPP as necessary to include additional requirements, such as additional or modified BMP's, designed to correct problems or address situations in accordance with 2018 Permit Reference 6 of the NPDES Permit.

Individual Site Plans will be required by the E.C. Supervisor as deemed necessary. Refer to MnDot 1717.

A daily inspection log will be required by the E.C. Supervisor of all sediment, erosion and materials on site (ie: chemicals, etc.). This log shall be kept current.

The E.C. Supervisor shall provide an inlet staging schedule and protection plan for the entire project. This plan and schedule shall be presented to the engineer at the pre-construction conference. Minimum requirements of the plan and schedule shall include:

- date of proposed inlet protection device installation
- protection device utilized
- estimated duration of device in operation
- schedule of subsequent devices that will be utilized for inlet protection

The contractor shall have a petroleum release plan and shall have all necessary materials on hand to implement the plan. All employees shall be trained in implementation of the plan. The MPCA shall be informed of any petroleum spills greater than 5 gallons.

Temporary and Permanent Erosion Control Practices

BMP's proposed for temporary and permanent erosion control are shown on the erosion control plan sheets and are further identified as follows:

Temporary Erosion Control Methods

All disturbed soil areas shall be temporarily mulched with Type 1 mulch within 7 days if the area is not being actively worked. Temporary seed mix 22-111 at a rate of 30.5 lbs/ac will be used only in cases where disturbed soil areas are anticipated to remain unworked in excess of 7 days prior to placement of Type 1 mulch.

Permanent Erosion Control Methods

Permanent erosion control will be achieved by using Seed Mixture 25-131 at a rate of 220 lbs/ac, Type 1 Fertilizer with a composition of 0-10-20 at a rate of 350 lbs/ac, and Mulch Material Type I at 2 tons / acre on all disturbed construction areas.

Temporary Sediment Control Methods

Inlet protection shall be placed at all catch basins receiving runoff from the site. Silt fence or biorolls will be used as perimeter control. Rock construction entrances shall be placed at all locations construction vehicles will be exiting the project area.

Unique Environmental Concerns

None

Timing of BMP Installation

Erosion and sediment control BMP's must be installed as necessary to minimize erosion from disturbed surfaces and capture sediment onsite. All BMP's must conform to 2018 Permit Reference 8 and 9 of the NPDES Permit.

Construction Sequencing

1. Identify and label protection areas such as buffer zones, filter strips, trees, etc... - Complete prior to any land disturbing activities.
2. Designate construction access / entrance, construction routes, equipment parking areas and cutting of vegetation - Stabilize disturbed area for the construction entrance immediately with aggregate.
3. Install diversions, silt fence, perimeter dikes and inlet / outlet protection - Install key BMP's before commencing with grading operations. Install additional run-off control as necessary during grading operations.
4. Begin grading operations - Begin grading after key BMP's are installed. Topsoil shall be stripped and stockpiled for the duration of the grading operations. Install BMP's around topsoil stockpile area(s) immediately following placement. Rough grading only of bio-filtration BMP to be completed at this point.
5. The contractor is responsible for phasing of grading operations. The contractor shall limit the amount of exposed soil where feasible.
6. Surface stabilization including temporary and permanent seeding and mulching - Apply temporary and/or permanent stabilization measures immediately on all disturbed areas where work is delayed or completed.
7. Once the site is stabilized, final grading and installation of the bio-filter media may be completed. Contractor shall prevent basin from accumulating sediment during installation.
8. Maintenance - Maintenance inspections shall be performed weekly, and maintenance repairs shall be made immediately after periods of rainfall and / or BMP failure.

Erosion Prevention Practices

The Contractor/ECS is responsible for the Erosion Prevention Practices contained in 2018 Permit Reference 8 of the NPDES Permit. The Contractor/ECS must plan for and implement appropriate construction phasing, vegetative buffer strips, horizontal slope grading and other construction practices that minimize erosion. The location of areas not to be disturbed must be delineated (marked) on the development site before work begins.

All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 7 days after the construction activity in that portion of the site has temporarily or permanently ceased.

The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the construction site, must be stabilized within 200 lineal feet from the property edge, or from the discharge into any surface water. Stabilization must be complete within 24 hours after connecting to surface water.

Pipe outlets must be provided with temporary or permanent energy dissipation within 24 hours after connection to a surface water.

Sediment Control Practices

The Contractor/ECS is responsible for the Sediment Control Practices contained in 2018 Permit Reference 9 of the NPDES Permit. Sediment Control Practices must be installed on all down gradient perimeters before any upgradient land disturbing activities begin. There shall be no unbroken slope length greater than 75 feet for slopes with a grade of 3:1 or steeper. These practices must remain in place until Permit Termination Conditions have been established in accordance with 2018 Permit Reference 13 of the NPDES Permit.

The timing of installation of Sediment Control Practices may be adjusted to accommodate short-term activities such as clearing or grubbing, or passage of vehicles. Short-term activities must be completed as quickly as possible and the practices must be installed immediately after the activity is completed. However, the Sediment Control Practices must be installed before the next precipitation event even if the activity is not complete.

All storm drain inlets must be protected by appropriate BMP's during construction until all sources with potential for discharging to the inlet have been stabilized. Inlet protection may be removed if a specific safety concern has been identified and the procedure in 2018 Permit Reference 9.8 of the NPDES Permit is followed.

Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduit and ditches unless there is a bypass for stormwater.

Vehicle tracking of sediment from the construction site must be minimized by BMP's such as stone or wood chip pads, concrete or steel wash racks, or equivalent systems. Street sweeping with collection must be used if such BMP's are not adequate to prevent sediment from being tracked onto the street (see 2018 Permit Reference 9.12 of the NPDES Permit).

Dewatering related to the construction activity must comply with 2018 Permit Reference 10 of the NPDES Permit. Dewatering discharge that may have turbid or sediment laden discharge must be discharged to a temporary or permanent sedimentation basin on the project site whenever possible and BMP's must be implemented to prevent water containing sediment or other pollutants from being discharged to surface waters or downstream properties.

Contractor may construct temporary sedimentation basins in accordance with 2018 Permit Reference 14 of the NPDES Permit.

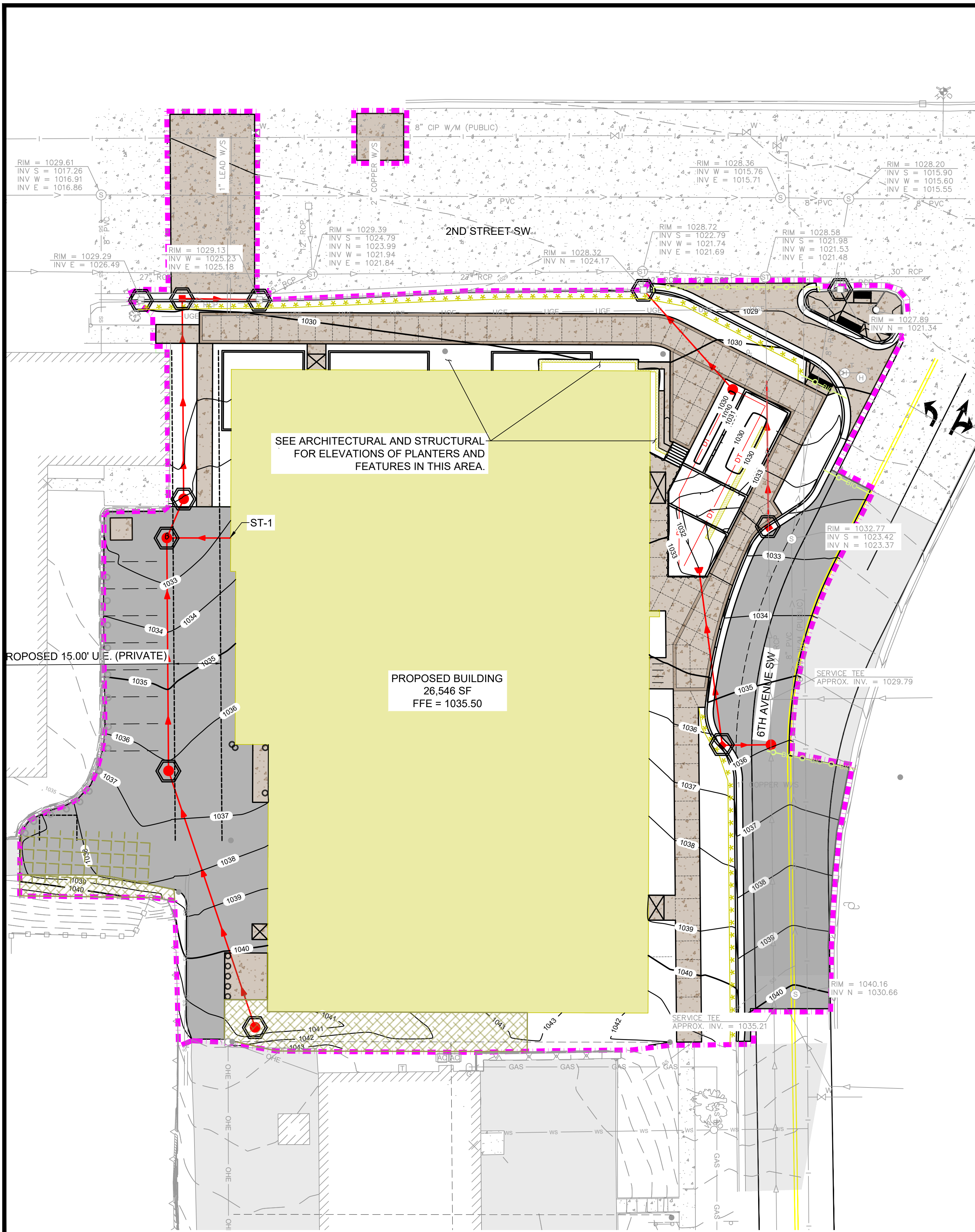
Pollution Prevention:

Each contractor on site is individually responsible for maintaining a clean and safe work site. The person responsible shall dispose of all solid waste properly and in compliance with the MPCA disposal requirements. Solid waste includes but is not limited to: collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris. The person responsible shall be responsible for all hazardous materials during construction. Oil, gasoline, grease, paint and other hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks and unwanted discharges. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in accordance with the MPCA regulations. External washing of trucks and other construction equipment is prohibited on this project site.

Concrete washout site: all liquid and solid wastes generated by concrete washout operations must be contained in a leak proof containment facility or impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with the MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.

The following telephone numbers are provided for assistance to the contractors and are not necessarily comprehensive; it is the responsibility of the individual contractor to make sure of proper notification.

Poison Control (800) 222-1222
 24 Hour Spill Emergency (800) 422-0798



STORM WATER POLLUTION PREVENTION PLAN NOTES:

Construction Practices to Minimize Storm Water Contamination

- Stockpiles should be constructed away from slopes and natural drainage ways.
- Collected solid waste, sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
- No construction materials can be buried on site.
- Licensed sanitary waste management handler must dispose of sanitary waste.
- Fertilizers must be stored in covered locations.
- Restricted access to chemical storage areas must be provided to prevent vandalism.
- All chemicals must be stored in locked containers when not in use.
- Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge.
- Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
- Vehicles must be monitored for leaks and preventative maintenance scheduled.
- Spill kits must be available during equipment fueling and maintenance operations.
- External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed on site.
- Asphalt substances must be applied according to manufacturers recommendations.
- Spray guns must be cleaned on removable surfaces such as tarps.
- Contractor/Erosion Control Supervisor must make a spill response plan before the application of any chemical that may be harmful to the environment.
- All spills must be reported immediately. Spill cleanup materials must be available on site. Material shall include but not limited to brooms, mops, rags, gloves, absorbent material, sand plastic and metal containers. Spills that reach storm water conveyance systems connected to a Water of the State must be immediately reported to the MPCA State Duty Officer.
- Contractor must control weeds on the entire project site.
- Form release oil must be applied over a pallet covered with absorbent material to collect excess fluid. The absorbent material shall be replaced when saturated.
- Dust control must be provided as conditions warrant.
- If this project is not stabilized before winter conditions stop construction activities, it shall be the contractor's responsibility to ensure sediment does not reach a water of the state. A written plan of this activity shall be presented to the engineer 1 month before expected project shut down for the season occurs. This plan shall include but not be limited to:
 - date of proposed bmp employment
 - duration of bmp's employed
 - schedule of subsequent bmp's employed

Payment

Cost for permanent and temporary erosion and sediment control measures shown on the plans will be paid on a lump sum basis. The costs to maintain and remove these devices shall be incidental to the contract. The cost for temporary seeding, soil stabilization, or any additional temporary erosion and sediment control devices shall be incidental to the contract. All costs for documentation required by the Permit shall be incidental to other items unless a specific bid item is established.

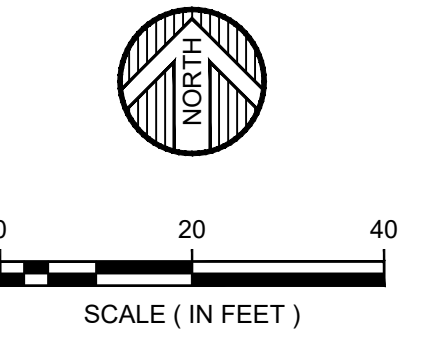
Contacts

Agency	Permit	Name	Phone Number
MPCA	NPDES	Roberta German	507-206-2629
MPCA	NPDES	David Bodovinitz	507-206-2654
SWPPP Design	WIDSETH	Adam Pleschourt	507-206-2151
EC Supervisor			

Amendments to the SWPPP:

Date:

- 1.
- 2.
- 3.
- 4.



EXISTING FEATURES LEGEND

	EXISTING BENCH MARK		EXISTING PROPERTY BOUNDARY
	EXISTING FLAG POLE		EXISTING LOT LINE
	EXISTING GUARD POST		EXISTING RIGHT OF WAY
	EXISTING SIGN SINGLE POST		EXISTING SECTION LINE
	EXISTING SHRUB		EXISTING FENCE CHAIN LINK
	EXISTING TREE DECIDUOUS		EXISTING FENCE WOOD
	EXISTING TREE CONIFER		EXISTING OVERHEAD ELECTRIC
	EXISTING SANITARY MANHOLE		EXISTING UNDERGROUND ELECTRIC
	EXISTING STORM MANHOLE		EXISTING OVERHEAD TELE
	EXISTING STORM INLET		EXISTING UNDERGROUND TELE
	EXISTING STORM CATCH BASIN		EXISTING SANITARY SEWER
	EXISTING YARD LIGHT		EXISTING SANITARY SEWER SERVICE
	EXISTING ELEC LIGHT POLE		EXISTING STORM SEWER
	EXISTING ELEC POLE		EXISTING UNDERGROUND GAS
	EXISTING ELEC METER		EXISTING WATERMAIN
	EXISTING TELE PEDESTAL		EXISTING WATERMAIN SERVICE
	EXISTING TELE HANDHOLE		EXISTING RETAINING WALL
	EXISTING GAS METER		EXISTING BUILDING WALL
	EXISTING GAS VALVE		EXISTING BITUMINOUS SURFACE
	EXISTING WATER HYDRANT		EXISTING CONCRETE SURFACE
	EXISTING WATER VALVE		
	EXISTING WATER CURB STOP		
	EXISTING AIR CONDITIONER UNIT		

PROPOSED FEATURES LEGEND

	PROPOSED CONCRETE
	PROPOSED EXPOSED AGG CONCRETE
	PROPOSED BITUMINOUS
	PROPOSED BUILDING
	PROPOSED STORM INLET
	PROPOSED STORM SEWER
	PROPOSED DRAIN TILE
	PROPOSED RETAINING WALL
	PROPOSED GUARDRAIL
	DENOTES CONSTRUCTION LIMITS
	DENOTES PROPOSED CONTOUR ANNOTATION
	DENOTES SILT FENCE
	DENOTES BIO LOG
	DENOTES PROPOSED INLET PROTECTION (7-05 SDP)
	DENOTES TEMP. ROCK CONST. ENTRANCE (7-06 SDP)
	DENOTES EROSION CONTROL BLANKET

CAUTION

ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.

WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

DATE: AUGUST 2023
AS SHOWN
DRAWN BY: A.A.P.
CHECKED BY: C.N.B.
JOB NUMBER: 2023-11183

CITYWALK APARTMENTS 12-STORY OPTION
DM COMPANIES
ROCHESTER, MN
SWPPP NARRATIVE PLAN

SHEET NO. **C5.1**

BY: [Signature]
DATE: 8-23-2023
REVISIONS DESCRIPTION: 1 12-STORY UPDATES

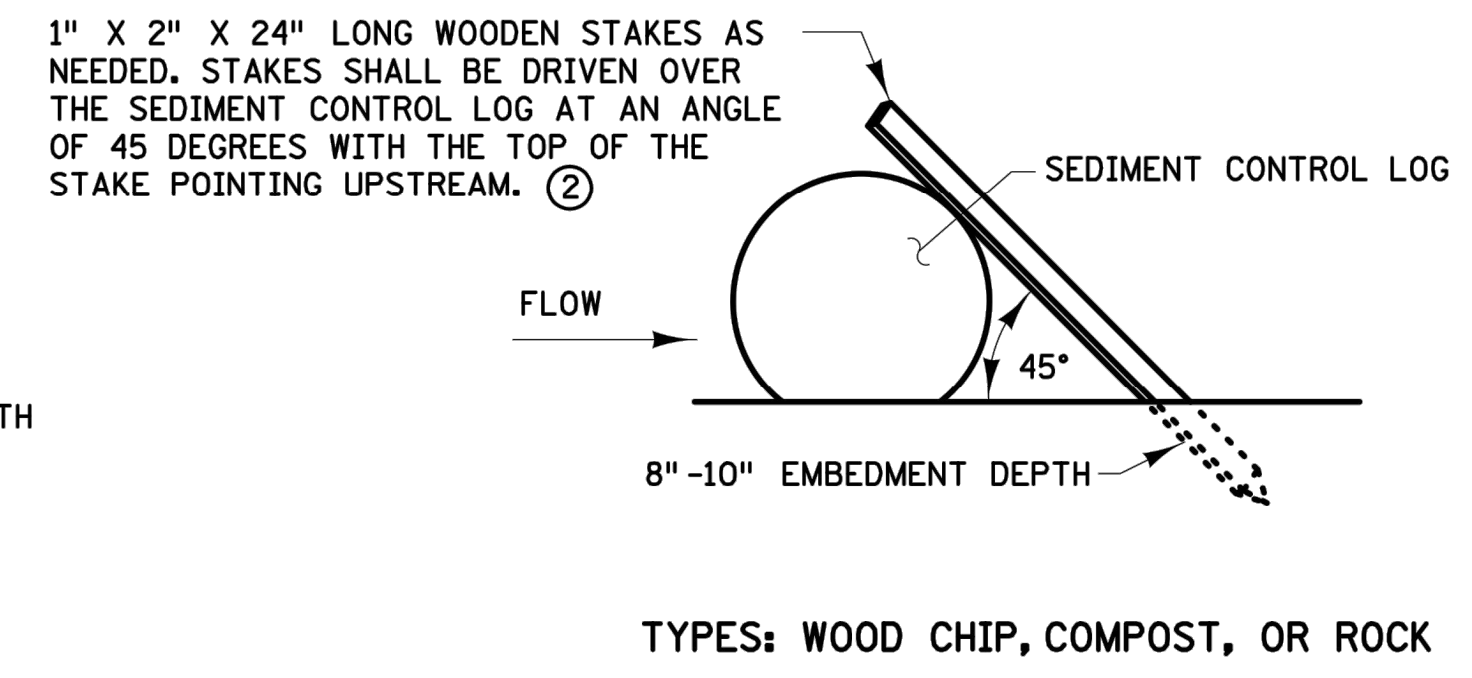
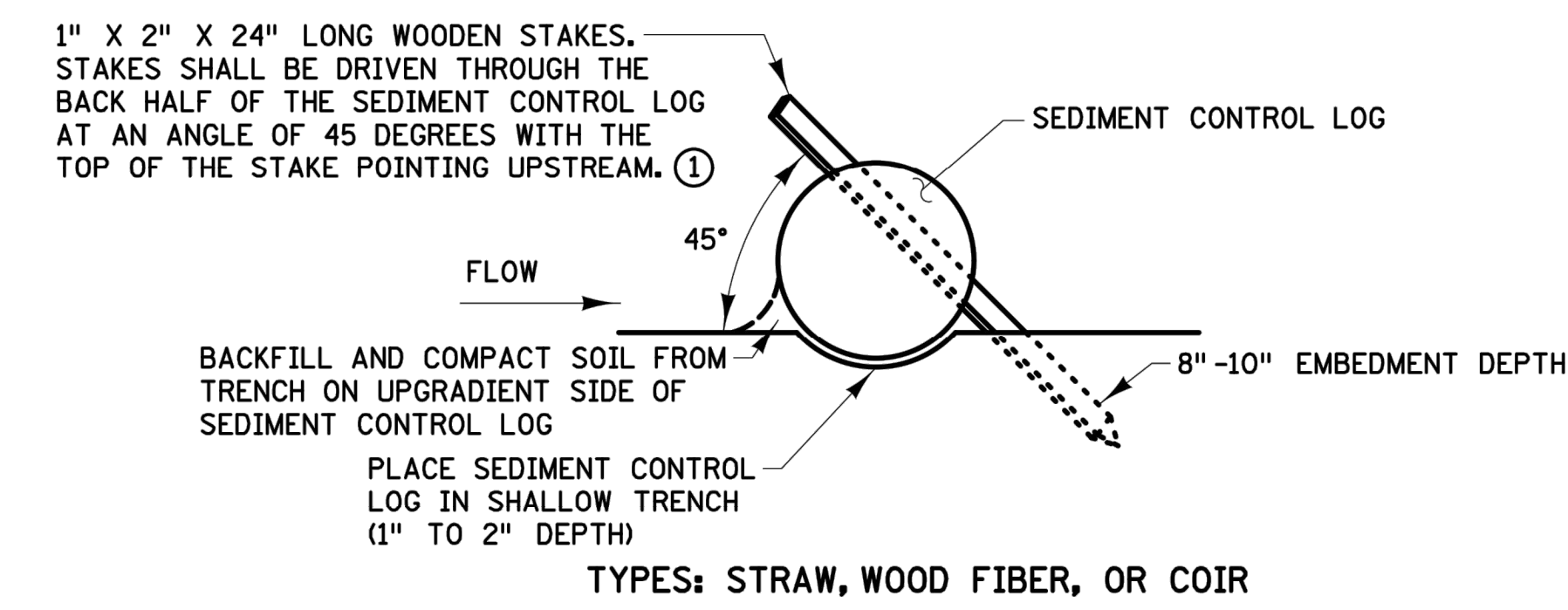
SITE ADDRESS: 610 2ND ST SW, 604 2ND ST SW, PARID 640221009439, 211 6TH AVE SW, ROCHESTER, MN 55902

PROPOSER: GMH COMMUNITIES, 10 CAMPUS BOULEVARD, NEWTON SQUARE, PA 190737, CONTACT: KEVIN LYDEN, PH: 610-600-1052, EMAIL: KLYDEN@GMHCOMMUNITIES.COM

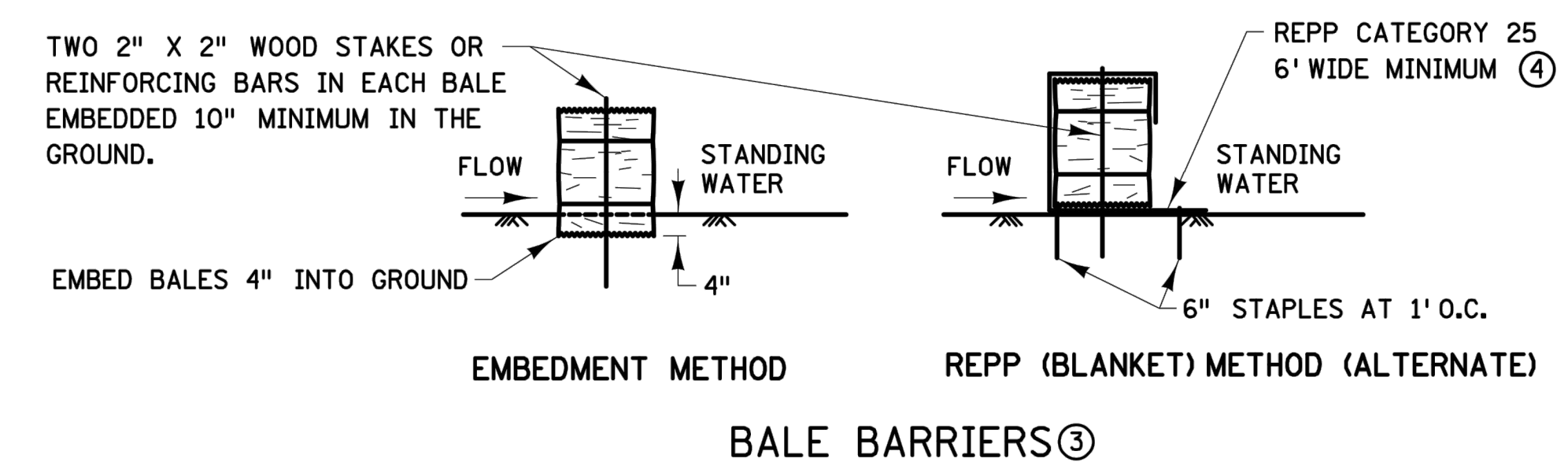
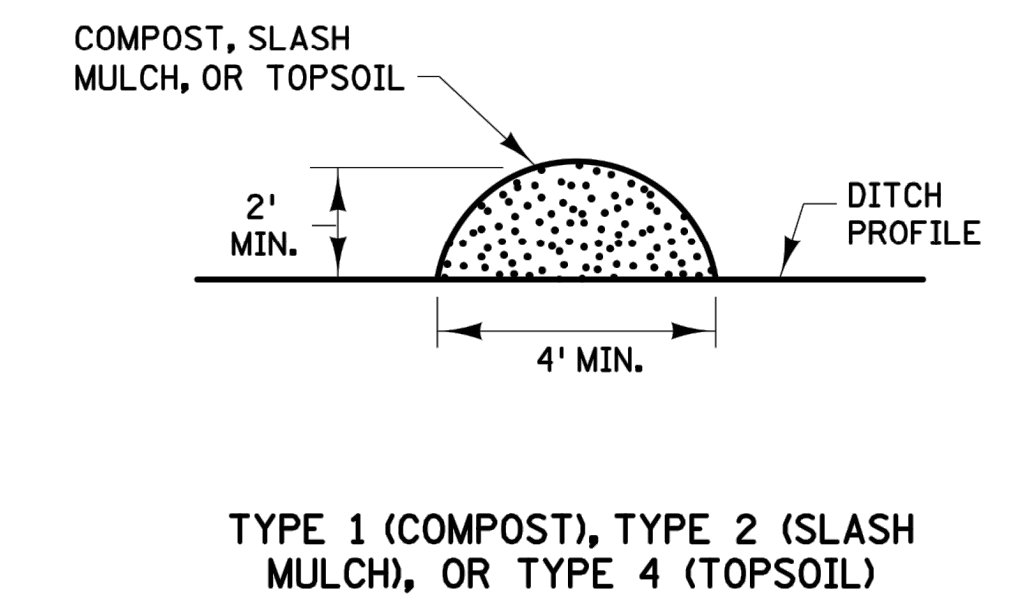
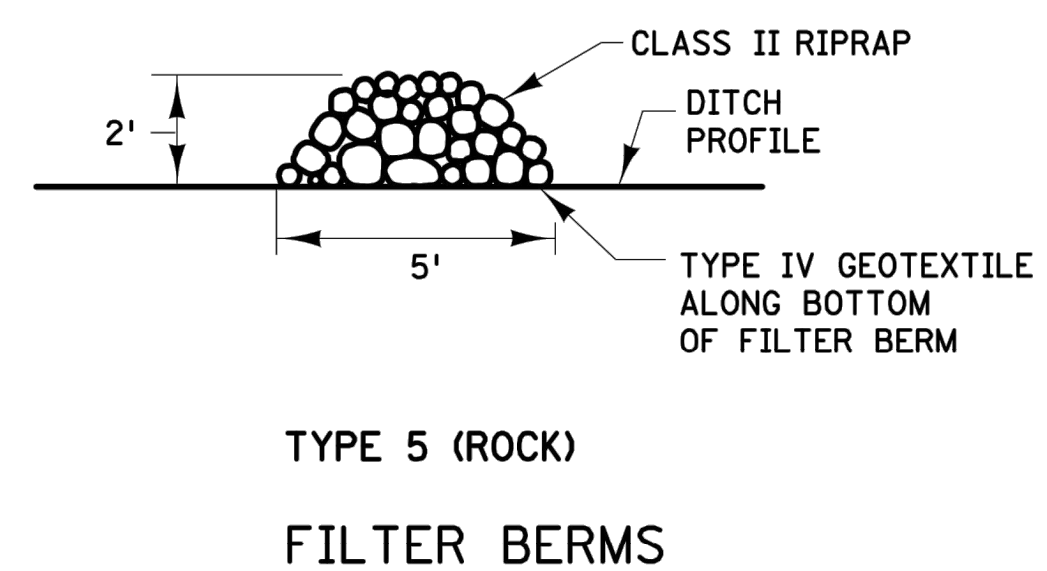
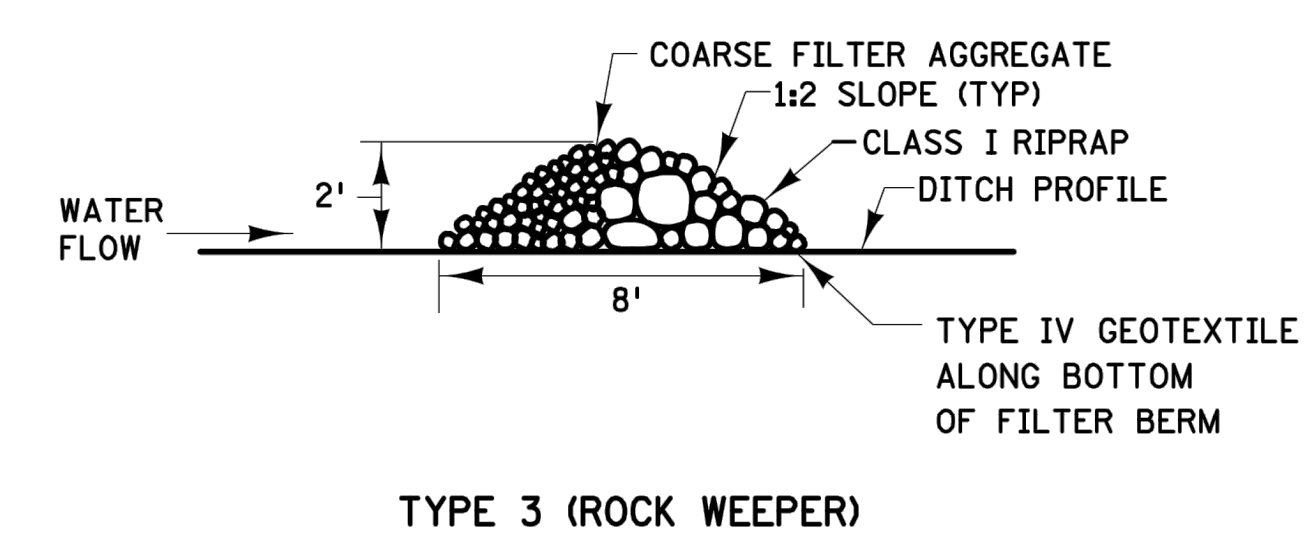
ARCHITECT: MOMENTUM DESIGN GROUP, 755 N PRIOR AVE N #301A, ST. PAUL, MN 55114, CONTACT: JESSE HAMER, PH: (612) 859-5833, EMAIL: JESSE@MDGARCHITECTS.COM

CIVIL ENGINEER: WIDSETH SMITH NOLTING, 3777 40TH AVE NW, SUITE 200, ROCHESTER, MN 55901, CONTACT: CRAIG BRITTON, PH: (507) 206-2125, EMAIL: CRAIG.BRITTON@WIDSETH.COM

I/PLOT NAME: s405_2.spp
 PATH & FILENAME: OTS\DesignStandards\Development\StandardPlans\DEV400_Series\s405_2.spp.dgn
 PLOTTED/REVISED: 24-JAN-2020



SEDIMENT CONTROL LOGS



- NOTES:**
- REPP = ROLLED EROSION PREVENTION PRODUCT.
 SEE SPECS. 2573, 3149, 3874, 3882, 3885, 3886, AND 3897.
- ① SPACE BETWEEN STAKES SHALL BE A MAXIMUM OF 1' FOR DITCH CHECKS OR 2' FOR OTHER APPLICATIONS.
 - ② PLACE STAKES AS NEEDED TO PREVENT MOVEMENT OF SEDIMENT CONTROL LOGS PLACED ON SLOPES OR AS NEEDED DUE TO OTHER FACTORS. STAKES SHALL BE INCIDENTAL.
 - ③ TO BE USED FOR CRITICAL PERIMETER CONTROL AREAS WHERE STANDING WATER OCCURS (6" MAXIMUM DEPTH). BALES SHALL CONSIST OF TYPE 1 MULCH OF APPROXIMATELY 14" X 18" X 36" LONG. BALES SHALL BE PLACED ON EDGE AND BUTTED TIGHT TO ADJACENT BALES.
 - ④ INSTEAD OF TRENCHING, PLACE BALE ON THE REPP (BLANKET) AND WRAP BLANKET AROUND THE BALE. PLACE STAKE THROUGH BALE AND BLANKET.

REVISION:

APPROVED: JANUARY 8, 2020

Marni Karnowski

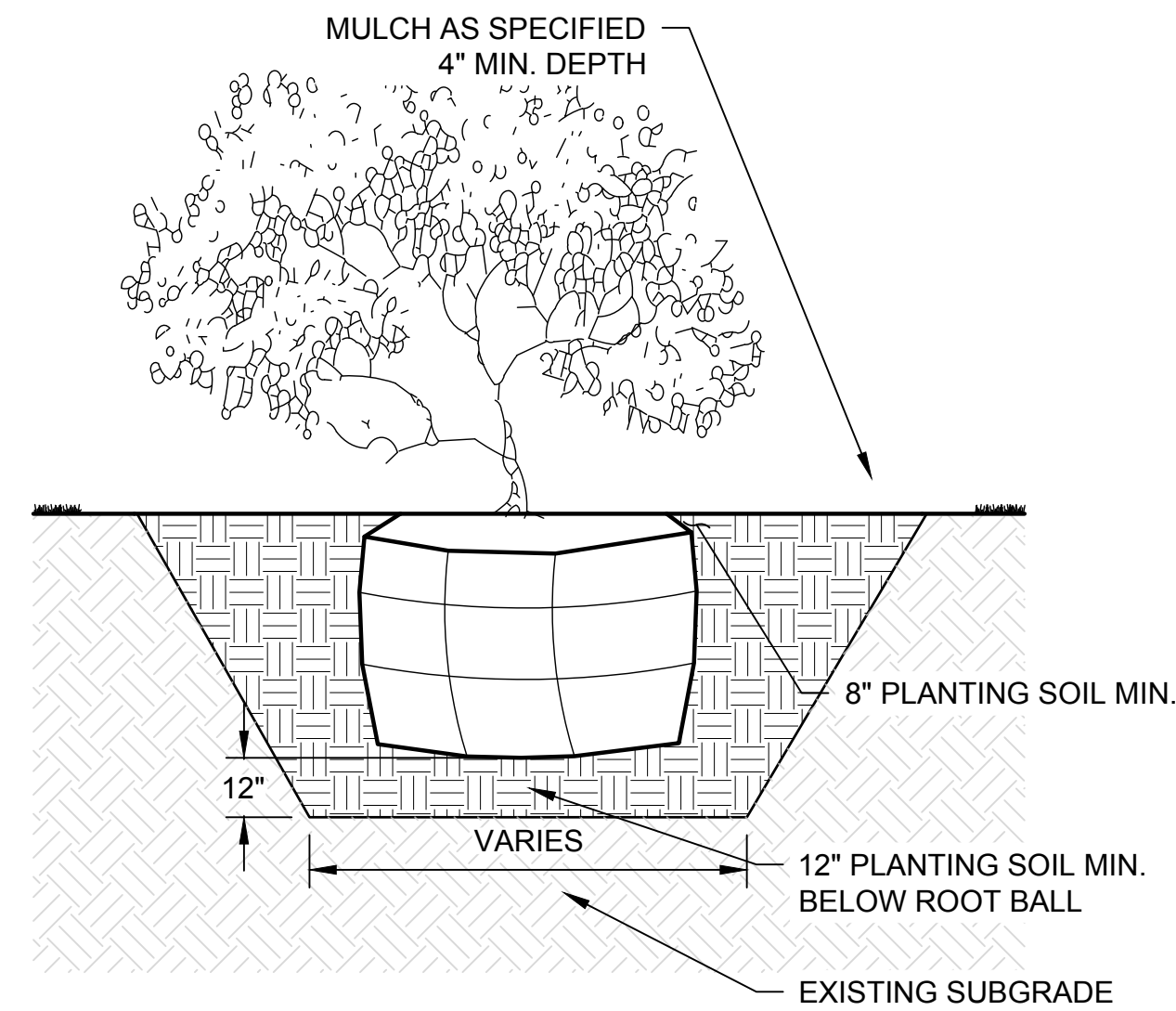
MARNI KARNOWSKI
 CHIEF ENVIRONMENTAL OFFICER

	STANDARD PLAN 5-297.405	2 OF 8	TEMPORARY SEDIMENT CONTROL FILTER BERMS, SEDIMENT CONTROL LOGS, AND BALE BARRIERS	
		APPROVED: 1-8-2020		
DEPARTMENT OF TRANSPORTATION	THOMAS TYRBIICKI STATE DESIGN ENGINEER	STATE PROJ. NO.	(T.H.)	SHEET NO. OF SHEETS

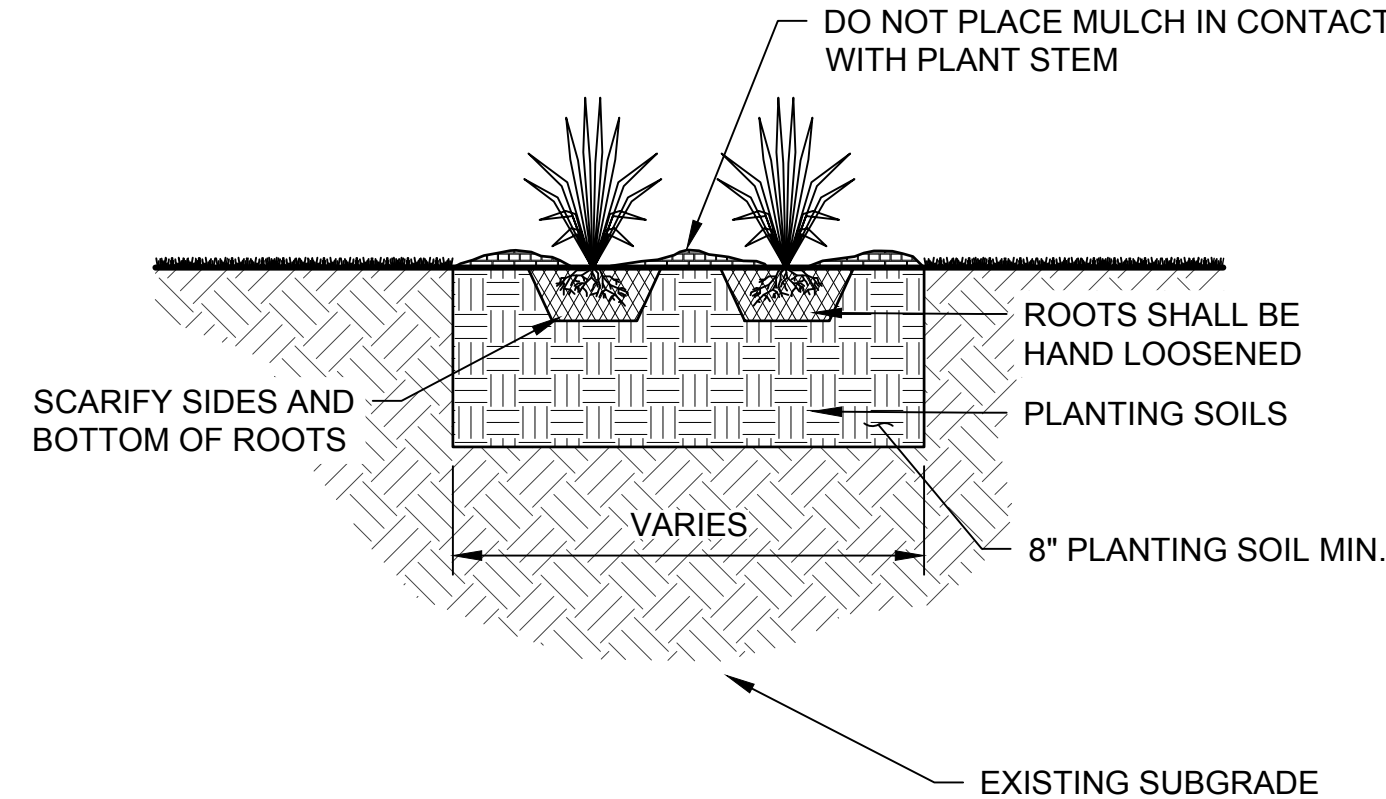
WIDSETH
 ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

DATE: AUGUST 2023 AS SHOWN
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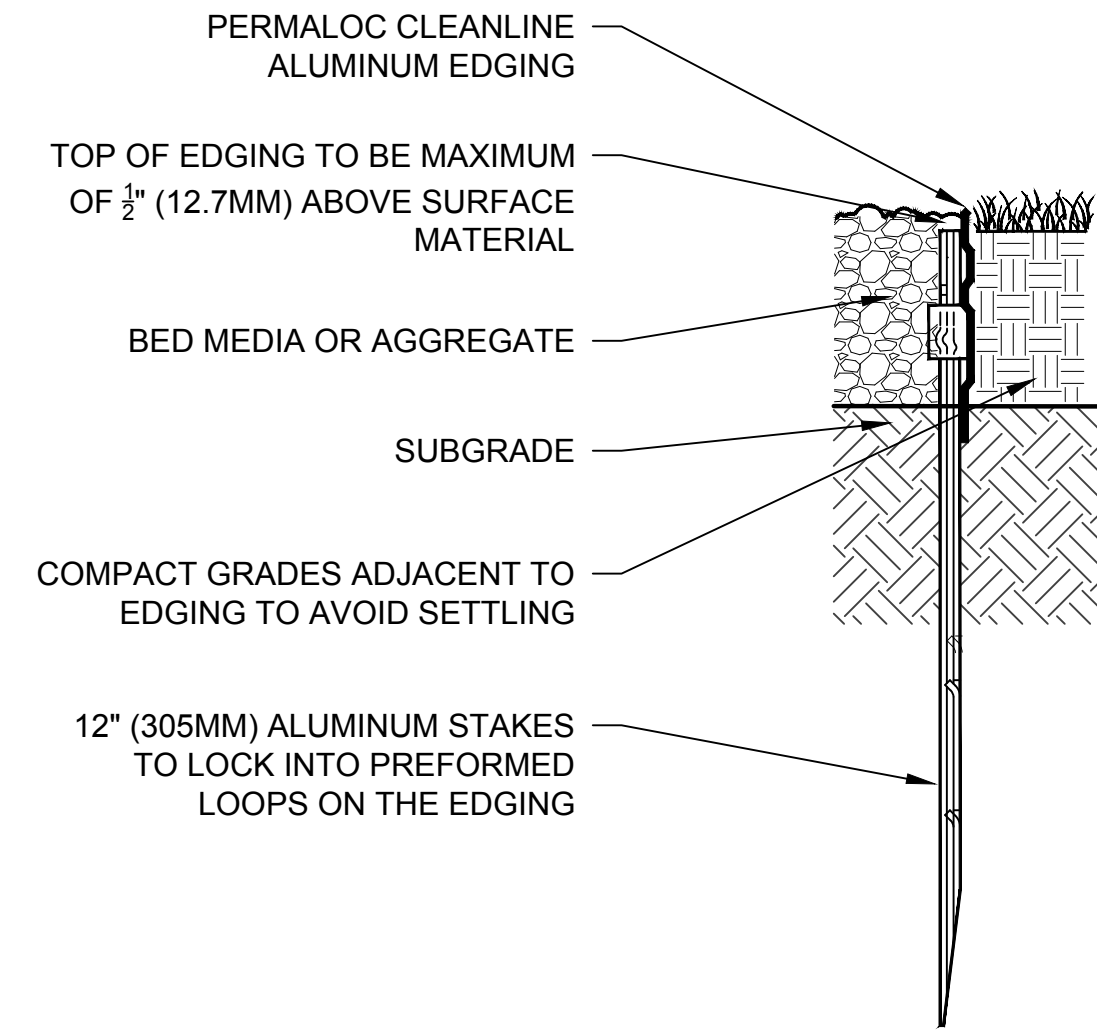
CITYWALK APARTMENTS 12-STORY OPTION
 DM COMPANIES
 ROCHESTER, MN
 SWPPP DETAILS



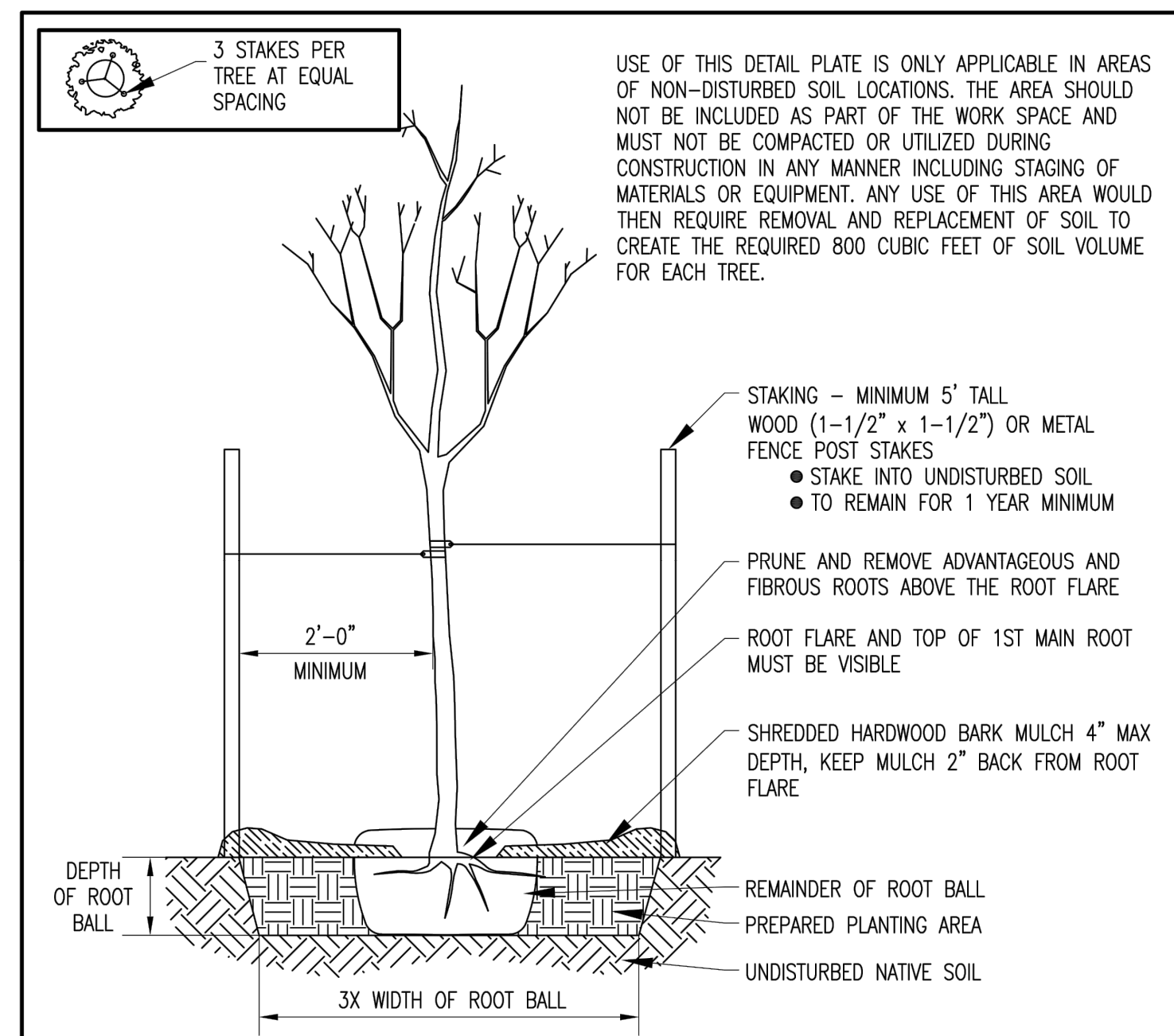
SHRUB PLANTING DETAIL
SCALE: NONE



PERENNIAL PLANTING DETAIL
SCALE: NONE



PERMALOC ALUMINUM EDGING DETAIL
SCALE: NONE



BALL AND BURLAP (B&B) ROOT BALL PREPARATION AND PLANTING
NOT TO SCALE

1. A PLANTING PERMIT IS REQUIRED TO PLANT ANY TREE IN A RIGHT OF WAY IN THE CITY OF ROCHESTER
2. ALL PLANTS MUST MEET THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60)
3. IDENTIFY 1ST MAIN ROOT. SET AT GRADE. DIG HOLE ONLY DEEP ENOUGH TO ALLOW FOR UNDISTURBED SOIL DIRECTLY BENEATH TREE ROOTS TO MINIMIZE CHANCE OF SETTLING AND BACKFILL
4. WATER THOROUGHLY TO SETTLE ANY AIR POCKETS AND ADD SOIL IF SINK HOLES DEVELOP
5. ROOT FLARE AND TOP OF 1ST MAIN ROOT MUST BE VISIBLE WHEN BACK FILLING IS COMPLETE
6. EACH TREE REQUIRES A MINIMUM 800 CUBIC FEET OF NON-COMPACTED LOAM SOILS

1. REMOVE TOP 1/3 OF PACKAGING TO FIND THE 1ST MAIN ROOT AND REMOVE ALL SOIL FROM ROOT BALL ABOVE IT. DIG HOLE TO DEPTH OF REMAINING ROOT BALL DEPTH AND PLACE THE TREE IN THE HOLE. REMOVE ALL REMAINING PACKAGING AND BACKFILL WITHOUT COMPACTING THE SOIL
2. IF TREES ARE BROUGHT TO THE SITE EARLY ENSURE THAT TREES ARE STORED IN A SHADED AREA AND ADEQUATELY WATERED BEFORE PLANTING

GENERAL NOTES

1. REMOVE ALL BURLAP FROM THE TOP OF ROOT BALL. REMOVE ALL GREEN TREATED BURLAP. REMOVE ALL PLANT IDENTIFICATION TAGS FROM ALL PLANT MATERIALS.
2. KEEP ALL PLANT MATERIALS MOIST AND SHADED UNTIL PLANTED.
3. FOR CONTAINER PLANTS: MAKE 4 TO 5 VERTICAL CUTS IN ROOT BALL AFTER PLANT HAS BEEN REMOVED. MAKE CUTS 1/2" DEEP. PLANT IMMEDIATELY.
4. SPREAD MULCH SO THAT IT IS NOT IN CONTACT WITH WOODY BASE OF PLANT.
5. MULCH AT BASE OF TREES 5'-0" DIAMETER RING WHERE TREES ARE LOCATED IN OPEN GRASS AREAS.
6. THESE NOTES ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH DETAILS, ADDENDA AND CHANGE ORDERS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
7. LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
8. LANDSCAPE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF ALL EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH WORK TO BE DONE.
9. FINE GRADING AND EDGING SHALL BE APPROVED PRIOR TO PLANTING OPERATIONS.
10. PLANT MATERIAL SHALL NOT BE INSTALLED IN AN AREA WHICH WILL CAUSE HARM TO ADJACENT STRUCTURES. NOTIFY THE ARCHITECT SHOULD CONFLICTS ARISE.
11. UNLESS OTHERWISE NOTED, FINISH GRADE OF PLANTING AREAS SHALL BE 2" BELOW ADJACENT PAVING. TAPER 3" DEPTH MULCH TOP DRESSING TO 1/2" BELOW ADJACENT PAVING (1 1/2" DEPTH) WITHIN 2' OF PAVING.
12. ALL EXISTING TREES, SHRUBS, VINES AND GROUND COVERS TO REMAIN SHALL BE PROTECTED. ANY DAMAGE CAUSED BY CONTRACTOR'S WORK OR NEGLIGENCE SHALL BE REPLACED OR REPAIRED AT THE CONTRACTORS EXPENSE TO THE SATISFACTION OF THE OWNER.
13. LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND MATERIALS SUPPLIED.
14. LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURB AND GUTTER, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO THESE ITEM SHALL BE REPAIRED AT NO COST TO OWNER.
15. UNDERGROUND SERVICES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF EXISTING TREES TO REMAIN.
16. LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT MATERIALS ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BEGINNING OF WORK.
17. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF SUBSTANTIAL COMPLETION. REPAIR OF ACTS OF VANDALISM OR DAMAGE WHICH MAY HAVE OCCURRED PRIOR TO SUBSTANTIAL COMPLETION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
18. EXISTING TREES OR SIGNIFICANT SHRUB MASSING FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIALS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO REMOVAL.
19. EXISTING TREES TO REMAIN, UPON DIRECTION OF ARCHITECT, SHALL BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD, DAMAGED AND RUBBING BRANCHES.
20. SYMBOLS ON PLAN DRAWING TAKE PRECEDENCE OVER SCHEDULES IF DISCREPANCIES IN QUANTITIES EXIST. DETAILS TAKE PRECEDENCE OVER NOTES.
21. IT IS CONTRACTOR'S RESPONSIBILITY TO SALVAGE TREES INDICATED ON PLAN, VERIFY EXACT PLANT TYPE, KEEP MOIST AND IN GOOD CONDITION DURING CONSTRUCTION, AND REPLANT ACCORDING TO PLANTING PLAN.

IRRIGATION NOTES

1. ALL PLANTING BEDS AND ELEVATED PLANTERS SHALL BE IRRIGATED WITH DRIP-LINE IRRIGATION.
2. IRRIGATION SYSTEM TO BE DESIGNED BY OTHERS. COORDINATE WORK WITH GENERAL CONTRACTOR.

PLANTING NOTES

1. LANDSCAPE CONTRACTOR SHALL LAY OUT PLANT MATERIAL PER PLAN AND FACE TO GIVE BEST APPEARANCE OR RELATION TO ADJACENT PLANTS, STRUCTURES OR VIEWS. CONTRACTOR TO OBTAIN APPROVAL FROM ARCHITECT PRIOR TO INSTALLATION.
2. PLANT LOCATIONS ARE DIAGRAMMATIC AND MAY BE ADJUSTED IN THE FIELD AT THE ARCHITECTS REQUEST PRIOR TO INSTALLATION. OBTAIN APPROVAL OF PLANT LAYOUT FROM ARCHITECT PRIOR TO PLANTING.
3. ALL PLANTING AREAS ARE TO RECEIVE 3-4" DEPTH OF NATURAL HARDWOOD MULCH UNLESS NOTED ROCK MULCH.
4. ROCK MULCH BEDS ARE TO RECEIVE 80% 2-4" RIVER ROCK & 20% PEA GRAVEL OVER 40Z. DEWITT WEED BARRIER FABRIC OR APPROVED EQUAL.
5. ALL NEWLY PLANTED MATERIAL SHALL BE THOROUGHLY SOAKED WITH WATER WITHIN 3 HOURS OF PLANTING.
6. THIRTY DAYS AFTER PLANTING, CONTRACTOR SHALL RE-STAKE AND STRAIGHTEN TREES AS NECESSARY.
7. LANDSCAPE CONTRACTOR SHALL THOROUGHLY LOOSEN ANY COMPACTED SUBGRADES PRIOR TO PLACING TOPSOIL. TO A MINIMUM DEPTH OF 10". ROLL SUBGRADES TO PREVENT SETTLING.
8. CONTRACTOR WITH RE-USE EXISTING TOPSOIL FROM SITE AND BRING TO FINISH GRADE WITH 4" OF TOPSOIL IN ALL LAWN AREAS, AND 12" OF TOPSOIL IN ALL PLANTING BED NOT ADJACENT TO BUILDING.
9. LANDSCAPE CONTRACTOR SHALL REMOVE SOD, CONTAMINATED SOILS, MISCELLANEOUS WASTE MATERIALS FROM AREAS TO BE PLANTED AND SEEDED. CONTRACTOR SHALL LOOSEN COMPACTED SUBSOILS BY TILLING AND IMPORT NEW TOPSOIL AS REQUIRED TO RESTORE GRADES AND MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING. VERIFY FINAL LIMITS OF AREAS WITH ARCHITECT PRIOR TO COMMENCING OPERATIONS.
10. KEEP ALL PLANT MATERIALS MOIST AND SHADED UNTIL PLANTED.
11. NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS GRANTED BY THE ARCHITECT TO THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF BID.
12. PLANT MATERIALS TO BE INSTALLED PER PLANT DETAILS.
13. PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH DRIED BONE MEAL, OR OTHER APPROVED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS OR MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 10-0-5 OF 10 OZ. PER 2.0" CALIPER TREE AND 6 OZ. PER SHRUB.
14. PLANTING AREAS RECEIVING ANNUALS SHALL RECEIVE A MINIMUM OF 18" DEPTH OF PLANTING SOIL CONSISTING OF 45 PARTS TOPSOIL, 45 PARTS SCREENED COMPOST AND 10 PARTS SAND.
15. PERENNIAL AND SHRUB BEDS ARE TO RECEIVE APPLICATION OF PRE-EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL) FOLLOWED BY MULCH.
16. LANDSCAPE CONTRACTOR SHALL WARRANTY NEW PLANT MATERIAL THROUGH TWO CALENDAR YEARS FROM DATE OF SUBSTANTIAL COMPLETION.
17. CONTRACTOR SHALL HAVE SUFFICIENT WATERING EQUIPMENT AND/OR FORCES AVAILABLE TO COMPLETELY WATER ALL PLANT MATERIALS ONCE EACH WEEK THROUGH THE WARRANTY PERIOD. WATERING INTERVALS SHALL BE VARIED AND BASED ON PREVAILING MOISTURE AND WEATHER CONDITIONS.
18. NO SOIL IS TO BE PLACED ON TOP OF WEED BARRIER FABRIC.

DEPARTMENT OF PUBLIC WORKS
CITY OF ROCHESTER, MINNESOTA

**TREE PLANTING DETAIL
TYPE 3**

FORESTER: [Signature] DATE REVISION: 3/23/18
PARKS & REC DIRECTOR: [Signature] PLATE NO.: 5-01 REV. A

SHT 3 OF 3 SHTS

DATE	REVISION DESCRIPTION

DATE:	AUGUST, 2023
SCALE:	AS SHOWN
DRAWN BY:	A.A.P.
CHECKED BY:	C.N.B.
JOB NUMBER:	2023-11183

CITYWALK APARTMENTS 12-STORY OPTION
DM COMPANIES
ROCHESTER, MN
LANDSCAPE DETAILS

PROPOSED FEATURES LEGEND

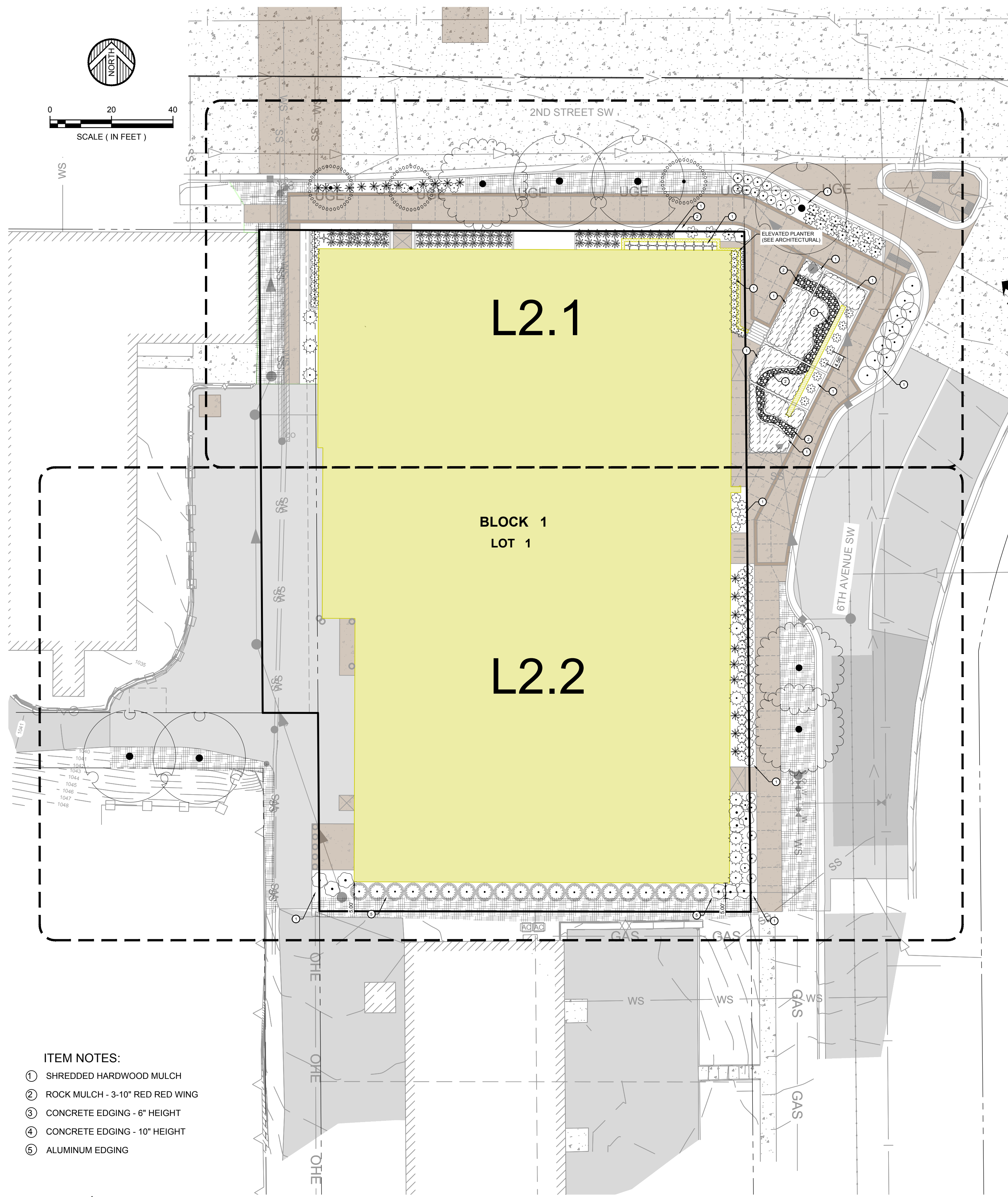
	PROPOSED CONCRETE
	PROPOSED EXPOSED AGG CONCRETE
	PROPOSED BITUMINOUS
	PROPOSED BUILDING
	PROPOSED CURB STOP
	PROPOSED GATE VALVE
	PROPOSED CURB STOP
	PROPOSED 90° BEND, TEE, REDUCER
	PROPOSED BOLLARD (SEE DETAIL)
	PROPOSED STORM INLET
	PROPOSED SANITARY CLEANOUT (SDP 1-06)
	PROPOSED WATER SERVICE
	PROPOSED STORM SEWER
	PROPOSED DRAIN TILE
	PROPOSED SANITARY SERVICE
	PROPOSED WATERMAIN
	PROPOSED RETAINING WALL
	PROPOSED GUARDRAIL

EXISTING FEATURES LEGEND

	EXISTING BENCH MARK		EXISTING PROPERTY BOUNDARY
	EXISTING FLAG POLE		EXISTING LOT LINE
	EXISTING GUARD POST		EXISTING RIGHT OF WAY
	EXISTING SIGN SINGLE POST		EXISTING SECTION LINE
	EXISTING SHRUB		EXISTING FENCE CHAIN LINK
	EXISTING TREE DECIDUOUS		EXISTING FENCE WOOD
	EXISTING TREE CONIFER		EXISTING OVERHEAD ELECTRIC
	EXISTING SANITARY MANHOLE		EXISTING UNDERGROUND ELECTRIC
	EXISTING STORM MANHOLE		EXISTING OVERHEAD TELE
	EXISTING STORM INLET		EXISTING UNDERGROUND TELE
	EXISTING STORM CATCH BASIN		EXISTING SANITARY SEWER
	EXISTING YARD LIGHT		EXISTING SANITARY SEWER SERVICE
	EXISTING ELEC LIGHT POLE		EXISTING STORM SEWER
	EXISTING ELEC POLE		EXISTING UNDERGROUND GAS
	EXISTING ELEC METER		EXISTING WATERMAIN
	EXISTING TELE PEDESTAL		EXISTING WATERMAIN SERVICE
	EXISTING TELE HANDHOLE		EXISTING RETAINING WALL
	EXISTING GAS METER		EXISTING BUILDING WALL
	EXISTING GAS VALVE		EXISTING BITUMINOUS SURFACE
	EXISTING WATER HYDRANT		EXISTING CONCRETE SURFACE
	EXISTING WATER VALVE		EXISTING AIR CONDITIONER UNIT
	EXISTING WATER CURB STOP		

PLANT SCHEDULE OVERALL

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	GI	GLEDTISIA TRIACANTHOS INERMIS 'HARVE' / NORTHERN ACCLAIM® HONEY LOCUST	2" CAL.	B&B	5
	MS	MAGNOLIA STELLATA / STAR MAGNOLIA	1.5" CAL.	B&B	3
	TB	TILIA AMERICANA 'BOULEVARD' / BOULEVARD AMERICAN LINDEN	2" CAL.	B&B	3
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	JM	JUNIPERUS SCOPULORUM 'MEDORA' / MEDORA JUNIPER	6" HT	POT	9
	RG	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	3 GAL.	POT	11
	TA	THUJA OCCIDENTALIS 'ART BOE' / NORTH POLE® ARBORVITAE	4' HT.	POT	20
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	2 GAL.	POT	21
	DT	DESCHAMPSIA CESPITOSA / TUFTED HAIR GRASS	1 GAL.	POT	13
	SC	SCHIZACHYRIUM LITTORALE / COASTAL LITTLE BLUESTEM	3 GAL.	POT	19
PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	AS	ARTEMISIA SCHMIDTIANA 'SILVER MOUND' / SILVER MOUND ARTEMISIA	1 GAL.	POT	5
	EP	ECHINACEA X 'PURPLE EMPEROR' / PURPLE EMPEROR CONEFLOWER	1 GAL.	POT	28
	OC	OSMUNDA CINNAMOMEA / CINNAMON FERN	2 GAL.	POT	52
	PA	PEROVSKIA ABROTANOIDES / RUSSIAN SAGE	3 GAL.	POT	10
	RU	RUDBECKIA X 'AMERICAN GOLD RUSH' / AMERICAN GOLD RUSH CONEFLOWER	1 GAL.	POT	24
	SA	SEDUM X 'AUTUMN JOY' / AUTUMN JOY SEDUM	1 GAL.	POT	53
SHRUB AREAS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	CB	CAREX FLACCA 'BLUE ZINGER' / BLUE ZINGER SEDGE	FLAT	PLUG	335



- ITEM NOTES:**
- SHREDDED HARDWOOD MULCH
 - ROCK MULCH - 3-10" RED WING
 - CONCRETE EDGING - 6" HEIGHT
 - CONCRETE EDGING - 10" HEIGHT
 - ALUMINUM EDGING

CAUTION ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.

WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

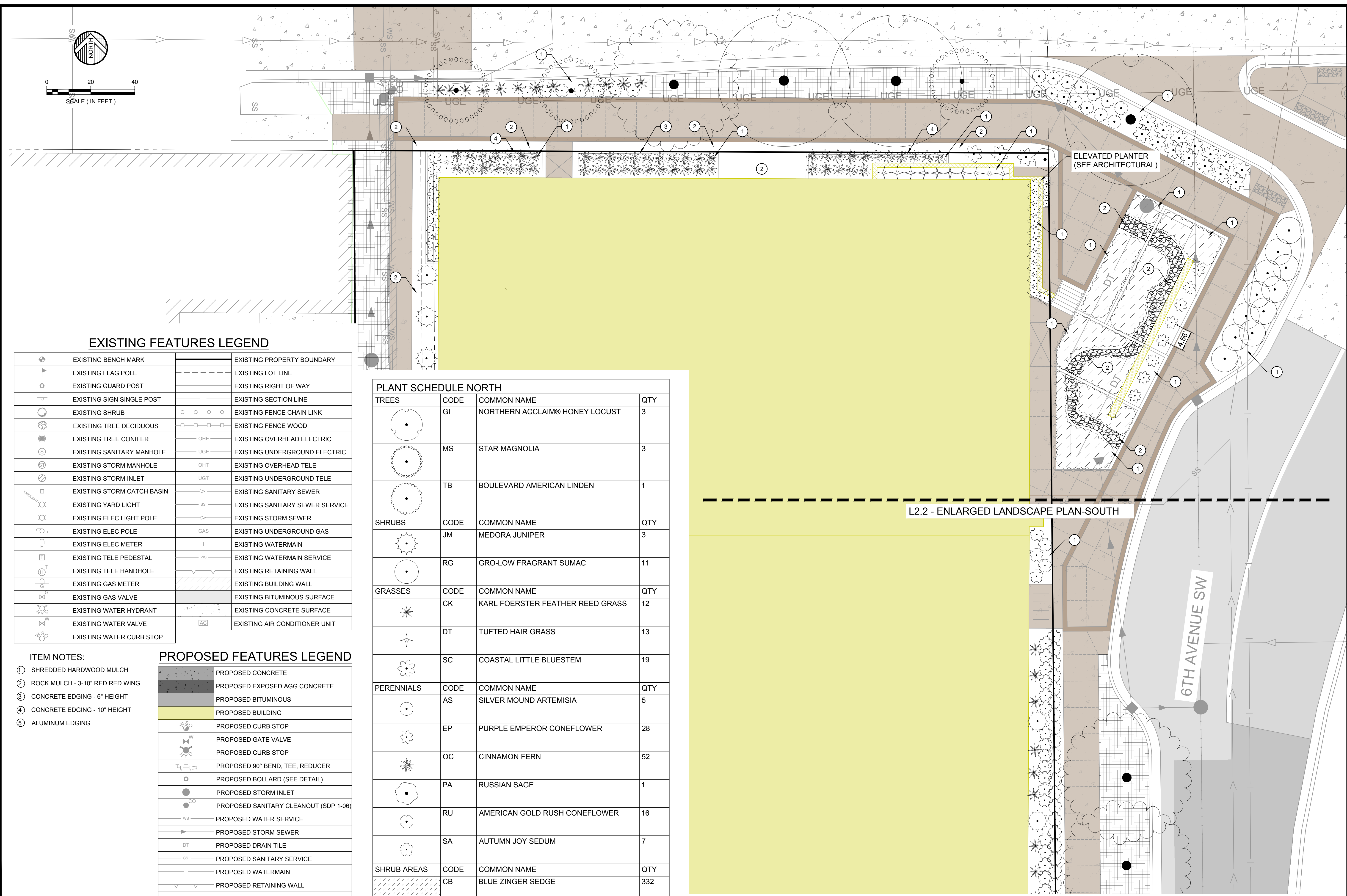
DATE: AUGUST 2023
SCALE: AS SHOWN
DRAWN BY: A.A.P.
CHECKED BY: C.N.B.
JOB NUMBER: 2023-11183

CITYWALK APARTMENTS 12-STORY OPTION
DM COMPANIES
ROCHESTER, MN
LANDSCAPE PLAN - OVERALL

SHEET NO. **L2.0**

DATE: 08/23/2023 LIC. NO. 4428
CRAIG N. BRITTON

WIDSETH ARCHITECTS, ENGINEERS, SCIENTISTS & SURVEYORS HAS PREPARED THIS PLAN UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.



EXISTING FEATURES LEGEND

	EXISTING BENCH MARK		EXISTING PROPERTY BOUNDARY
	EXISTING FLAG POLE		EXISTING LOT LINE
	EXISTING GUARD POST		EXISTING RIGHT OF WAY
	EXISTING SIGN SINGLE POST		EXISTING SECTION LINE
	EXISTING SHRUB		EXISTING FENCE CHAIN LINK
	EXISTING TREE DECIDUOUS		EXISTING FENCE WOOD
	EXISTING TREE CONIFER		EXISTING OVERHEAD ELECTRIC
	EXISTING SANITARY MANHOLE		EXISTING UNDERGROUND ELECTRIC
	EXISTING STORM MANHOLE		EXISTING OVERHEAD TELE
	EXISTING STORM INLET		EXISTING UNDERGROUND TELE
	EXISTING STORM CATCH BASIN		EXISTING SANITARY SEWER
	EXISTING YARD LIGHT		EXISTING SANITARY SEWER SERVICE
	EXISTING ELEC LIGHT POLE		EXISTING STORM SEWER
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	EXISTING ELEC METER		EXISTING WATERMAIN
	EXISTING TELE PEDESTAL		EXISTING WATERMAIN SERVICE
	EXISTING TELE HANDHOLE		EXISTING RETAINING WALL
	EXISTING GAS METER		EXISTING BUILDING WALL
	EXISTING GAS VALVE		EXISTING BITUMINOUS SURFACE
	EXISTING WATER HYDRANT		EXISTING CONCRETE SURFACE
	EXISTING WATER VALVE		EXISTING AIR CONDITIONER UNIT
	EXISTING WATER CURB STOP		

PLANT SCHEDULE NORTH

TREES	CODE	COMMON NAME	QTY
	GI	NORTHERN ACCLAIM® HONEY LOCUST	3
	MS	STAR MAGNOLIA	3
	TB	BOULEVARD AMERICAN LINDEN	1
SHRUBS	CODE	COMMON NAME	QTY
	JM	MEDORA JUNIPER	3
	RG	GRO-LOW FRAGRANT SUMAC	11
GRASSES	CODE	COMMON NAME	QTY
	CK	KARL FOERSTER FEATHER REED GRASS	12
	DT	TUFTED HAIR GRASS	13
	SC	COASTAL LITTLE BLUESTEM	19
PERENNIALS	CODE	COMMON NAME	QTY
	AS	SILVER MOUND ARTEMISIA	5
	EP	PURPLE EMPEROR CONEFLOWER	28
	OC	CINNAMON FERN	52
	PA	RUSSIAN SAGE	1
	RU	AMERICAN GOLD RUSH CONEFLOWER	16
	SA	AUTUMN JOY SEDUM	7
SHRUB AREAS	CODE	COMMON NAME	QTY
	CB	BLUE ZINGER SEDGE	332

ITEM NOTES:

- ① SHREDDED HARDWOOD MULCH
- ② ROCK MULCH - 3-10" RED RED WING
- ③ CONCRETE EDGING - 6" HEIGHT
- ④ CONCRETE EDGING - 10" HEIGHT
- ⑤ ALUMINUM EDGING

PROPOSED FEATURES LEGEND

	PROPOSED CONCRETE
	PROPOSED EXPOSED AGG CONCRETE
	PROPOSED BITUMINOUS
	PROPOSED BUILDING
	PROPOSED CURB STOP
	PROPOSED GATE VALVE
	PROPOSED CURB STOP
	PROPOSED 90° BEND, TEE, REDUCER
	PROPOSED BOLLARD (SEE DETAIL)
	PROPOSED STORM INLET
	PROPOSED SANITARY CLEANOUT (SDP 1-06)
	PROPOSED WATER SERVICE
	PROPOSED STORM SEWER
	PROPOSED DRAIN TILE
	PROPOSED SANITARY SERVICE
	PROPOSED WATERMAIN
	PROPOSED RETAINING WALL
	PROPOSED GUARDRAIL

EXISTING FEATURES LEGEND

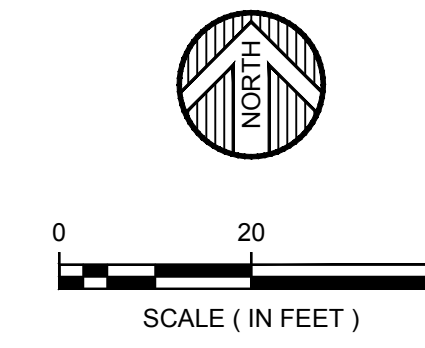
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	EXISTING WATER HYDRANT		EXISTING CONCRETE SURFACE
	EXISTING WATER VALVE		EXISTING AIR CONDITIONER UNIT
	EXISTING WATER CURB STOP		

PROPOSED FEATURES LEGEND

	PROPOSED MNDOT SEED MIX - 25-131
	PROPOSED CONCRETE
	PROPOSED EXPOSED AGG CONCRETE
	PROPOSED BITUMINOUS
	PROPOSED BUILDING
	PROPOSED CURB STOP
	PROPOSED GATE VALVE
	PROPOSED CURB STOP
	PROPOSED 90° BEND, TEE, REDUCER
	PROPOSED BOLLARD (SEE DETAIL)
	PROPOSED STORM INLET
	PROPOSED SANITARY CLEANOUT (SDP 1-06)
	PROPOSED WATER SERVICE
	PROPOSED STORM SEWER
	PROPOSED DRAIN TILE
	PROPOSED SANITARY SERVICE
	PROPOSED WATERMAIN
	PROPOSED RETAINING WALL
	PROPOSED GUARDRAIL

PLANT SCHEDULE SOUTH

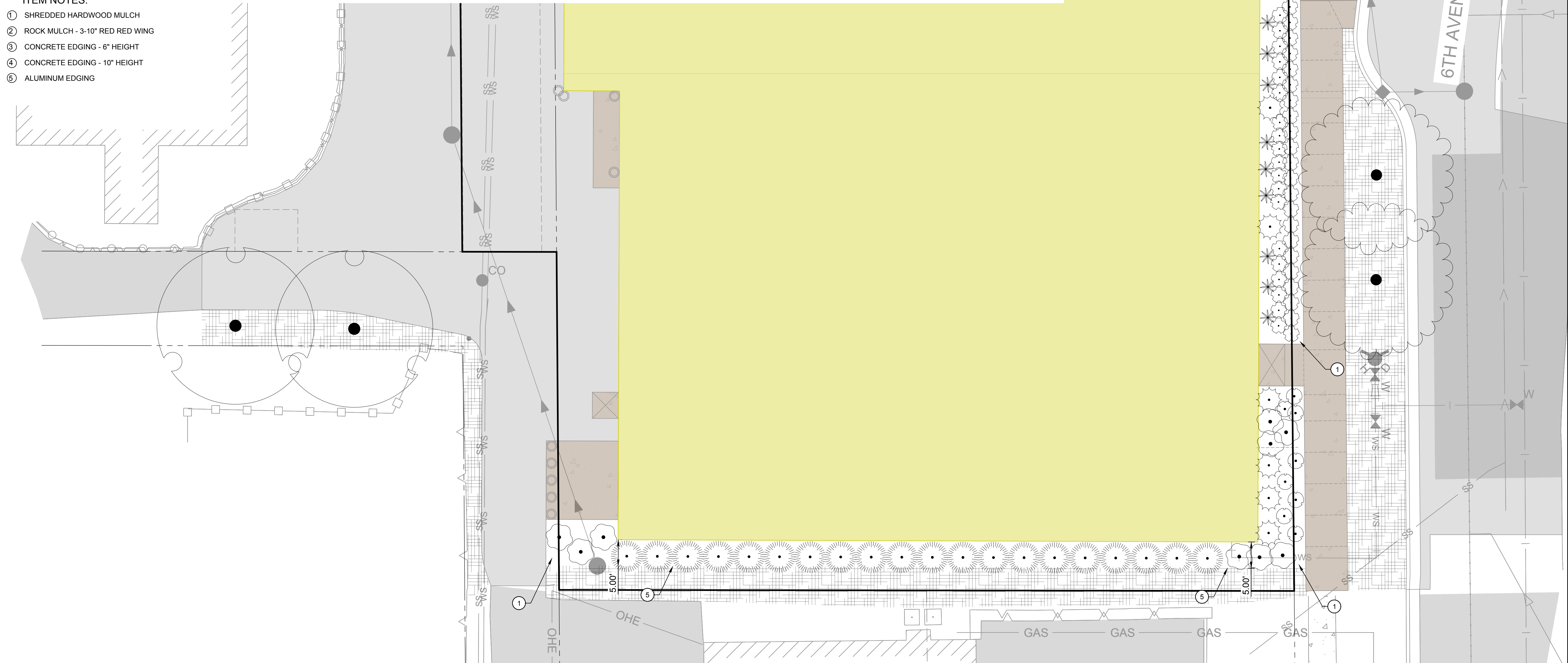
TREES	CODE	COMMON NAME	QTY
	GI	NORTHERN ACCLAIM® HONEY LOCUST	2
	TB	BOULEVARD AMERICAN LINDEN	2
SHRUBS	CODE	COMMON NAME	QTY
	JM	MEDORA JUNIPER	6
	TA	NORTH POLE® ARBORVITAE	20
GRASSES	CODE	COMMON NAME	QTY
	CK	KARL FOERSTER FEATHER REED GRASS	9
PERENNIALS	CODE	COMMON NAME	QTY
	PA	RUSSIAN SAGE	9
	RU	AMERICAN GOLD RUSH CONEFLOWER	8
	SA	AUTUMN JOY SEDUM	46



L2.1 - ENLARGED LANDSCAPE PLAN-NORTH

ITEM NOTES:

- ① SHREDDED HARDWOOD MULCH
- ② ROCK MULCH - 3-10" RED RED WING
- ③ CONCRETE EDGING - 6" HEIGHT
- ④ CONCRETE EDGING - 10" HEIGHT
- ⑤ ALUMINUM EDGING



WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

DATE: AUGUST, 2023
SCALE: AS SHOWN
DRAWN BY: A.A.P.
CHECKED BY: C.N.B.
JOB NUMBER: 2023-11183

CITYWALK APARTMENTS 12-STORY OPTION
DM COMPANIES
ROCHESTER, MN
LANDSCAPE PLAN - ENLARGED SOUTH

SHEET NO. **L2.2**

DATE: 08/23/2023 LIC. NO. 4428
CRAIG N. BRITTON

BY: _____
REVISIONS DESCRIPTION: _____
DATE: _____
REV: _____

NEWLY SUBMITTED PLANS AND SPECIFICATIONS OR REVISIONS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

2ND ST SW

2nd Street Pedestrian Entrance
Private Patio Unit Entrance
Public Seating Area

Existing Apartment Building

SEE FIRST FLOOR PLAN

Garage Entry, Trash pick-up, Delivery, See First Floor Plan

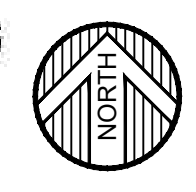
Total Planter Area: 437 sqft (Planters Shown in Green)

Transformer & Generator Coordinate Easements With Neighboring Building For Access

Existing Alley To Remain

Existing House

- Private Patio Unit Entrances
- Public Art Sculpture
- Terrace Area
- Built-in Bench
- Pattern Sidewalk; See civil
- Balcony Encroachment 9" over property line
- 6th Street Pedestrian Entry
- Balcony Encroachment 5" over property line
- Balconies above shown in dashed line
- Balcony Encroachment 2" over property line
- Bike Racks (8)
- Exit
- Balconies Overhead; No Encroachment



PROPERTY LINE
0.5 FOOTCANDLE (FC) BOUNDARY

6TH AVENUE S

Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number	Filename	Lumens per Footcandle	Lumen Multiplier	LLF	Wattage	Efficiency	Distrib	Polar Plot
○	A		249	Vantage Lighting	VDL412UWU-1307-35K35K-WEXW	DecoLine 4"x 12" Cylinder	LED	1	VDL412U-1307-35K35K-WEXW.IES	1518	1	0.9	22	100%		
○	B		6	Vantage Lighting	VDL412UWU-0713-35K35K-MDMD	DecoLine 4"x 12" Cylinder	LED	1	VDL412U-0713-35K35K-MDMD.IES	1791	1	0.9	22	100%		

MEMBER, CHECKED BY THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
DATE: 09-08-2023 LIC. NO. 25395
JAMES W. SZLISTEK

DATE	REVISIONS DESCRIPTION	BY
SEPTEMBER 2023		

DATE: SEPTEMBER 2023
SCALE: 3/32" = 1'-0"
DRAWN BY: PWR
CHECKED BY: JWS
JOB NUMBER: 2023-11183

CITYWALK APARTMENTS 12-STORY OPTION
DM COMPANIES
ROCHESTER, MINNESOTA
SITE LIGHTING PHOTOMETRIC PLAN

CITYWALK APARTMENTS

215 6TH AVE SW ROCHESTER, MN 55902



PROJECT OVERVIEW



Project Team

Developer

Detailed Management Company
415 Lake St E.

Wayzata, MN 55391

Architect

Momentum Design Group
755 Prior Ave N.
Suite #301A
St. Paul, MN 55104

Civil

Widseth
3777 40th Ave NW.
Suite #200
Rochester, MN 55901

Site Information

Address (Current)

604, 606, 608, 610, 612 2nd St SW
211, 219 6th Ave SW
Rochester, MN 55902

Building Information

Project Description

The Citywalk project is an urban development that seeks to supply density with 361 new rental units to Rochester's growing population. Three levels of below-grade parking will provide residents with the option of interior parking. The ample amenity and work from home spaces at grade allows occupants to feel the pulse of the city while providing space to work, relax and play. The pocket plaza at the corner of 2nd and 6th creates a space for the public to take a moment to enjoy the sculptural rain garden or just take a seat on one of the built-in seating areas.

Project Updates

We preserved the grade level experience from the original design. We replaced the first floor residential units with enhanced amenity spaces, which allowed us to lower the glazing along the sidewalk to be more accessible to the public and increase the linear amount of glazing across the public-facing elevations. Additional materials and landscaping elements such as green trellises have been added to the north and west elevations. The height of the building adjusted from six to twelve stories and an additional 219 units were added. An additional 108 parking stalls were added to the underground garage.

F.A.R. SITE AREA 33,187 SF - (.76 ACRES)	
Gross Area Excluding Garages	F.A.R.
240390 SF	7.24

GROSS BUILDING AREA AT EACH FLOOR	
LOWER FLOOR (-3)	25774 SF
LOWER FLOOR (-2)	25774 SF
LOWER FLOOR (-1)	25730 SF
1ST FLOOR	26311 SF
2ND FLOOR	20384 SF
3RD FLOOR	20395 SF
4TH FLOOR	20404 SF
5TH FLOOR	20417 SF
6TH FLOOR	20417 SF
7TH FLOOR	20417 SF
8TH FLOOR	20417 SF
9TH FLOOR	20417 SF
10TH FLOOR	20417 SF
11TH FLOOR	20343 SF
12TH FLOOR	20120 SF
Grand Total	327735 SF

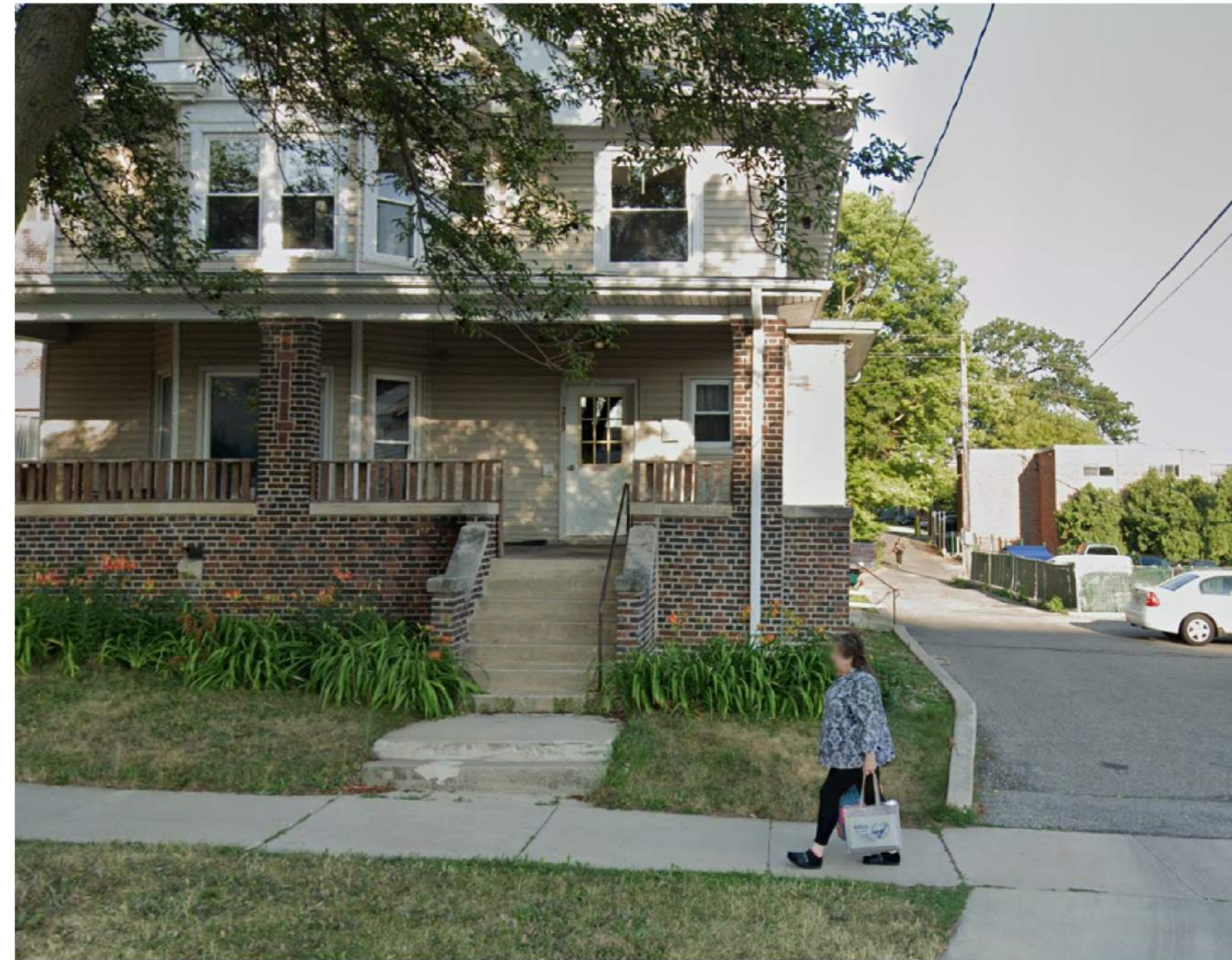
PARKING AT EACH FLOOR	
LOWER FLOOR (-3)	69
LOWER FLOOR (-2)	69
LOWER FLOOR (-1)	69
1ST FLOOR	43
Grand Total Parking	250

UNIT COUNT		
1 BED	49	570 SF ... 718 SF
1 BED + DEN	12	770 SF ... 838 SF
1 BED JR	80	473 SF ... 587 SF
2 BED 2 BA	10	1059 SF ... 1062 SF
2 BED 2 BA - PH	13	1062 SF ... 1447 SF
STUDIO	197	396 SF ... 463 SF
TOTAL UNITS: 361		

UNIT TOTAL AT EACH FLOOR	
2ND FLOOR	31
3RD FLOOR	35
4TH FLOOR	35
5TH FLOOR	35
6TH FLOOR	35
7TH FLOOR	35
8TH FLOOR	35
9TH FLOOR	35
10TH FLOOR	35
11TH FLOOR	35
12TH FLOOR	15
TOTAL UNITS: 361	

SHORT TERM RENTAL UNITS	
2ND FLOOR	31
3RD FLOOR	35
4TH FLOOR	24
UNITS DESIGNATED FOR SHORT TERM RENTAL: 90	

EXISTING CONDITIONS



SOUTHEAST CORNER



EAST SIDE



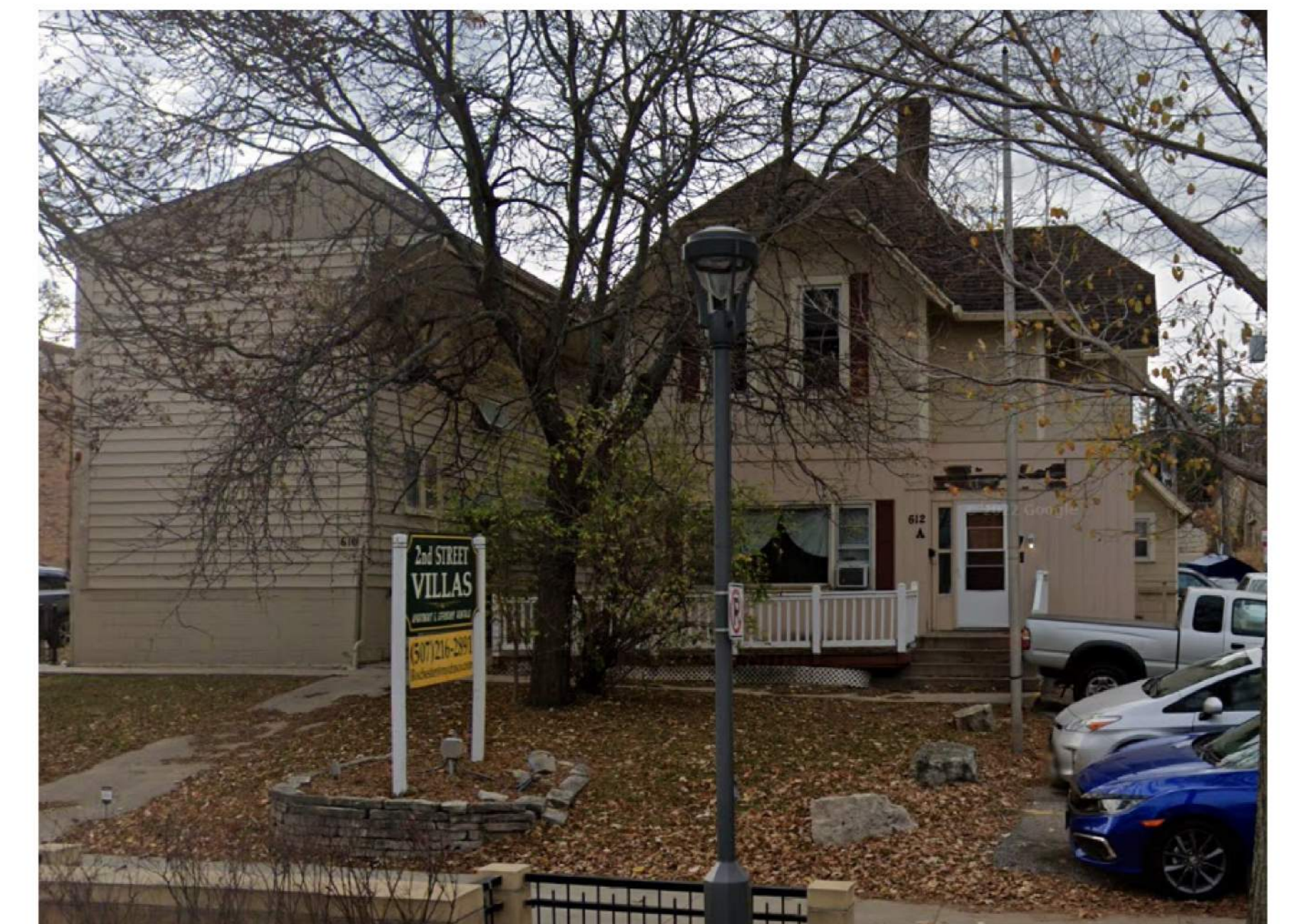
NORTHEAST CORNER



NORTHEAST CORNER



NORTH SIDE

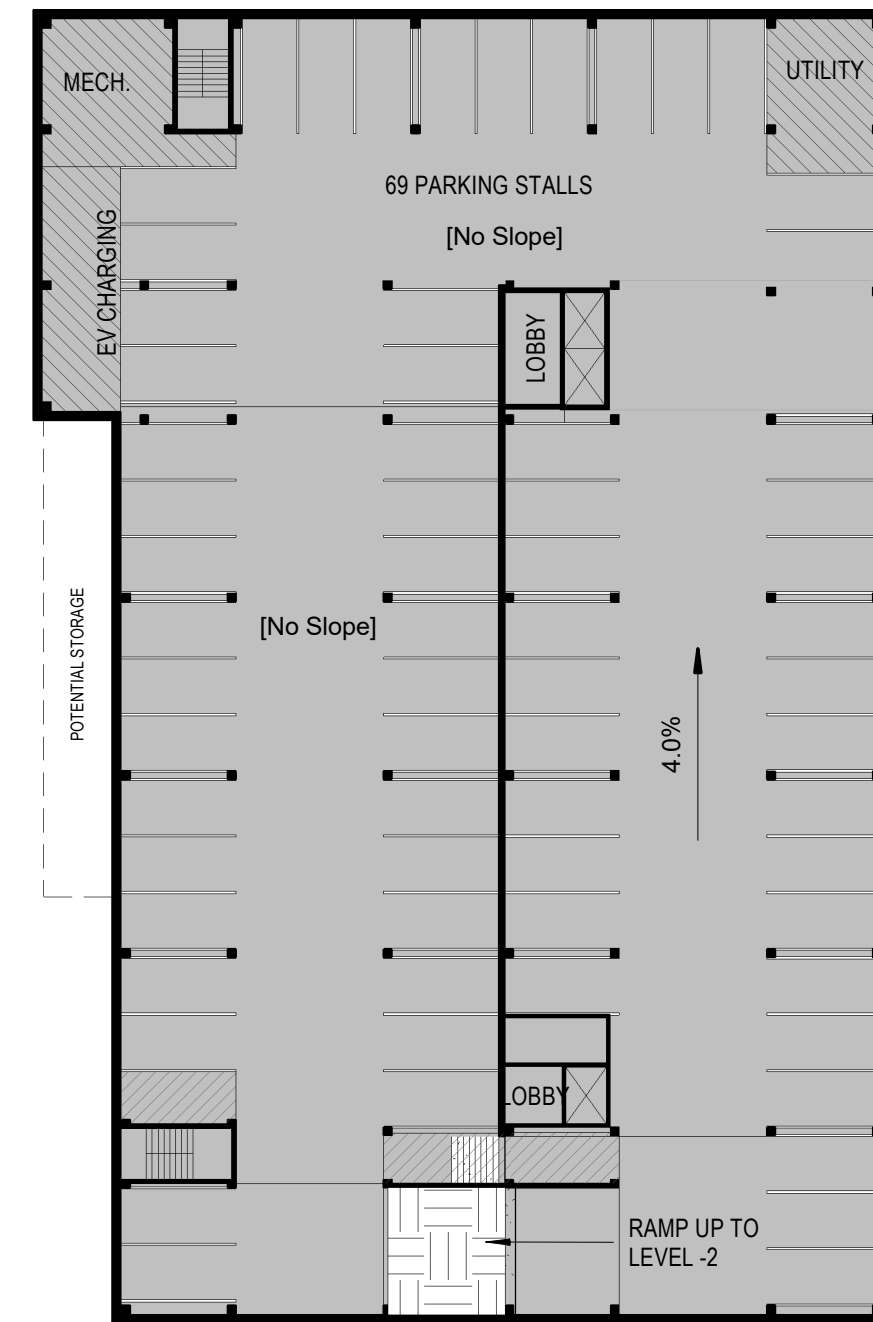


NORTHWEST CORNER

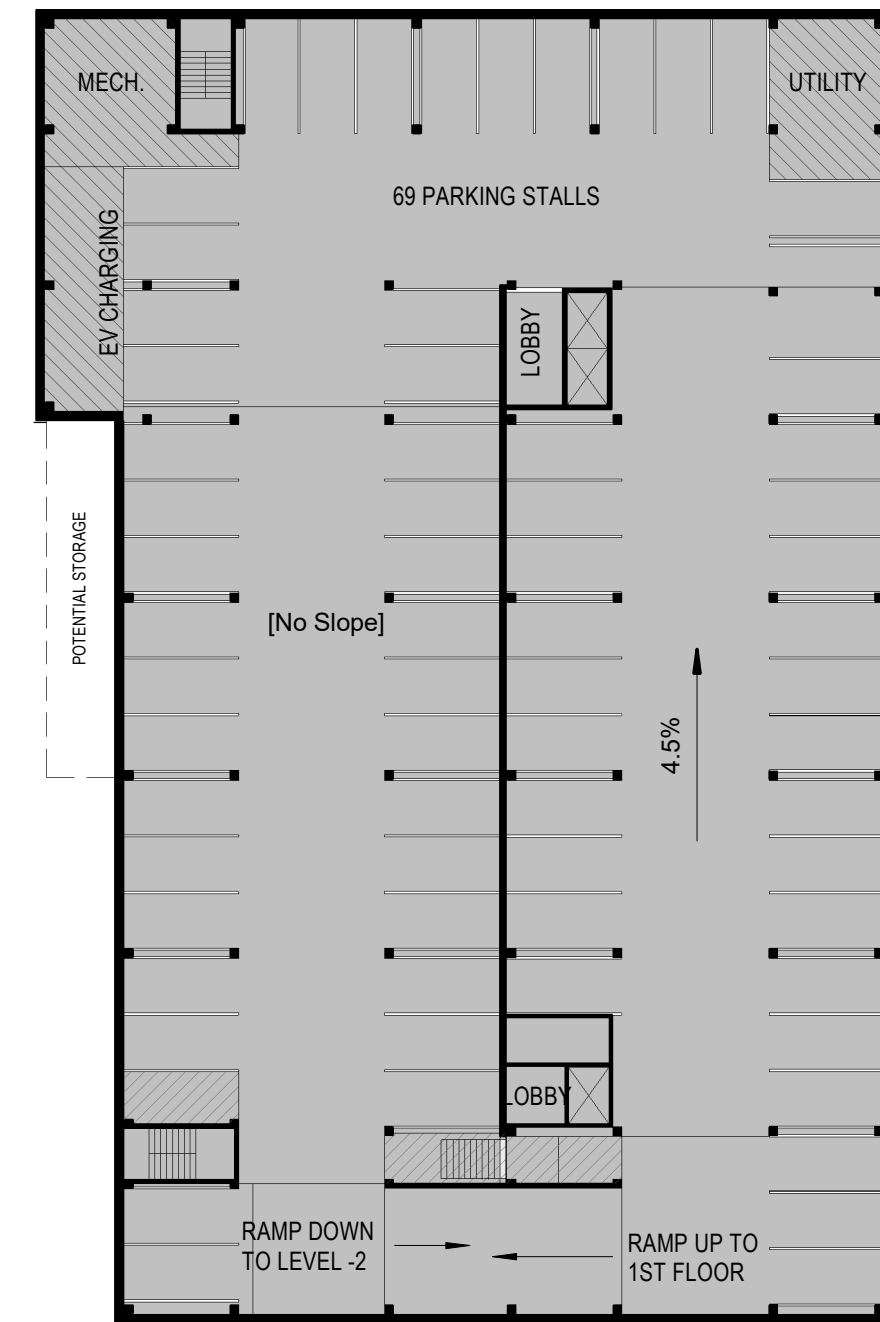
SITE PLAN



CONCEPT DESIGN PLANS (12 stories)



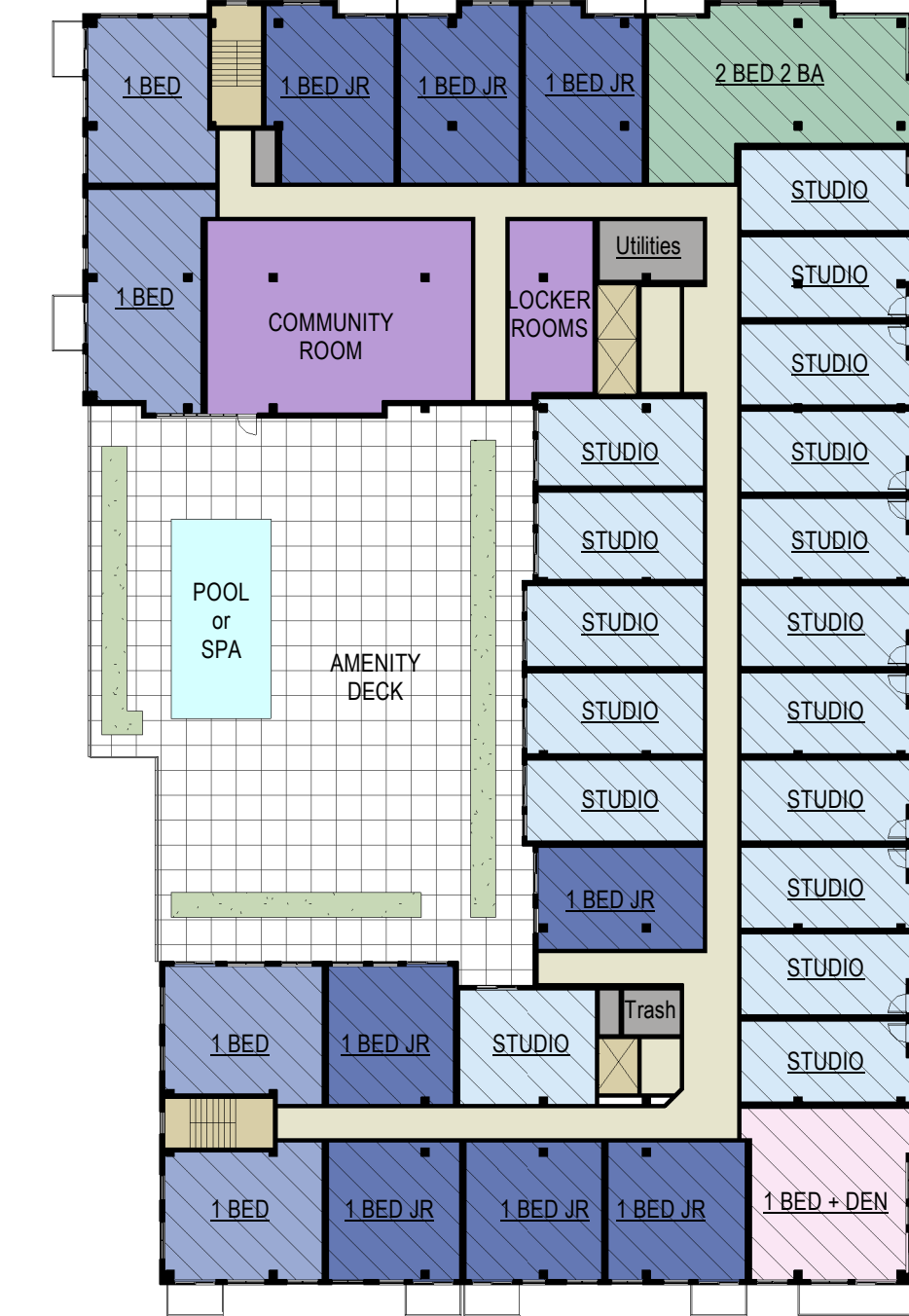
-3 GARAGE FLOOR PLAN



-1 & -2 GARAGE FLOOR PLAN



FIRST FLOOR



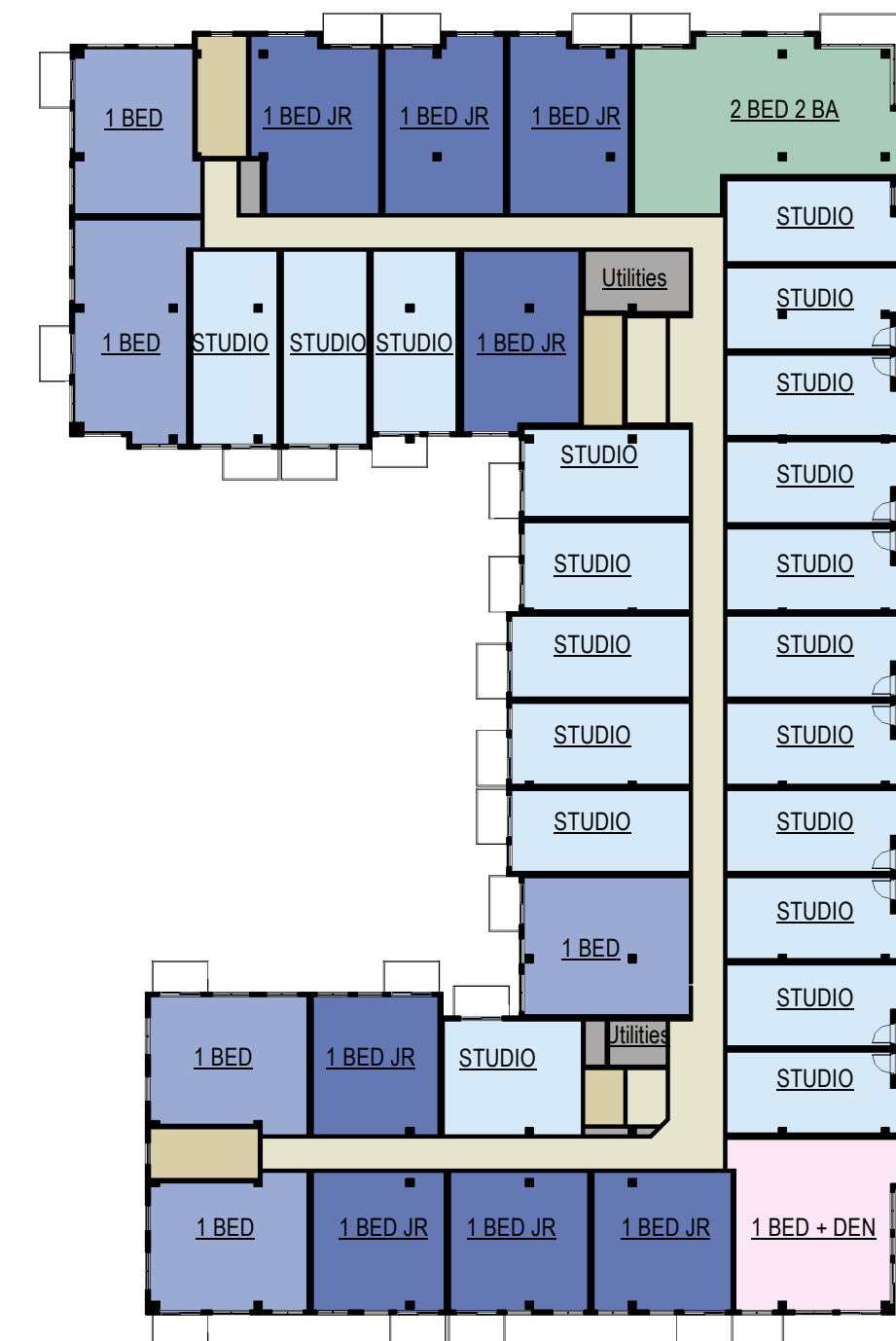
SECOND FLOOR



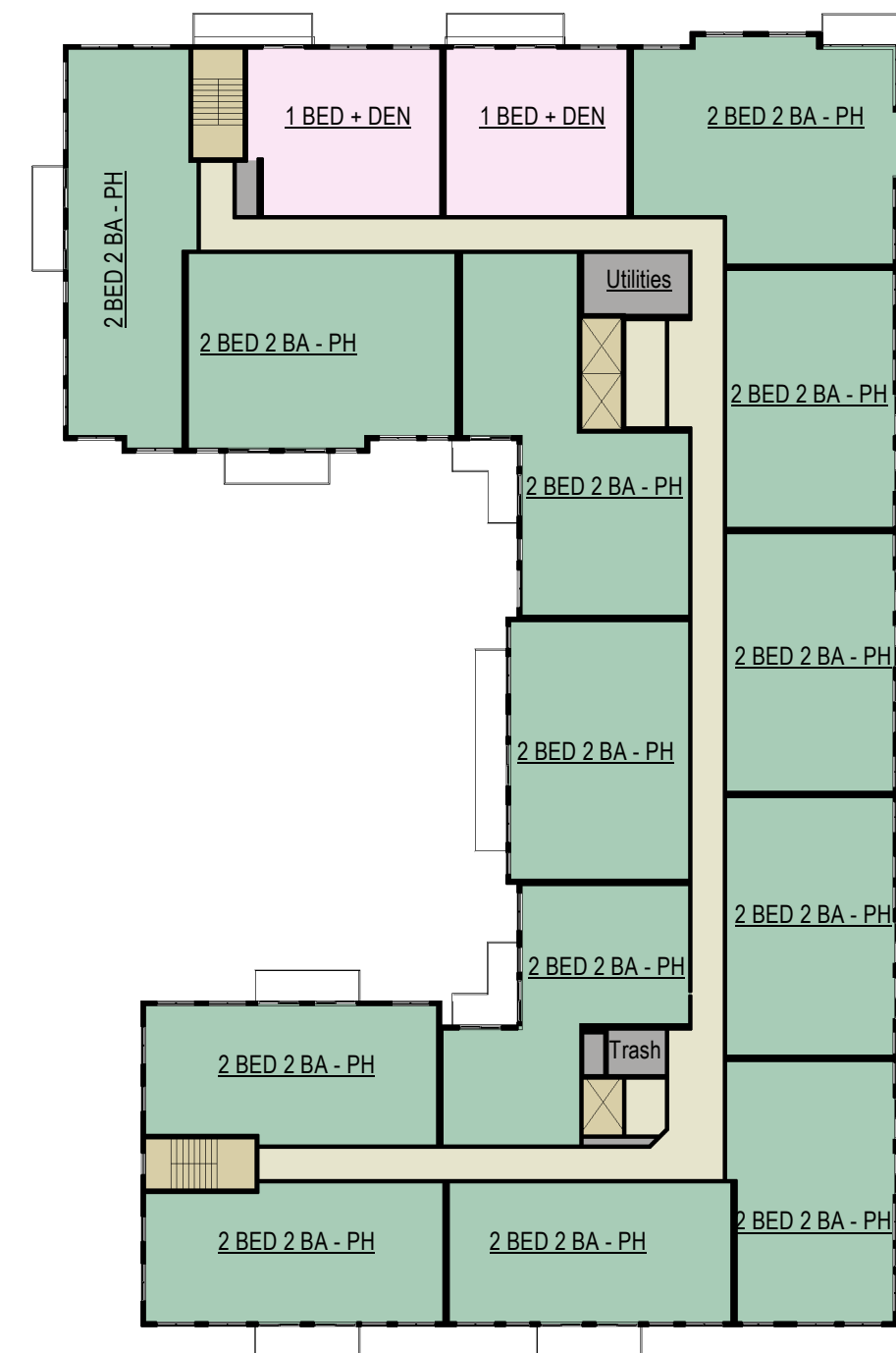
3RD FLOOR



4TH FLOOR



5TH-11TH TYPICAL FLOOR PLAN



12 TWELFTH FLOOR

Building Area Legend

- STUDIO
- 1 BED + DEN
- 1 BED JR
- 1 BED
- 2 BED 2 BA
- Amenity
- Circulation
- Utilities
- Vertical Circulation
- Diagonal Hatch Signifies Short Term Rental Units

0' 15' 30' 60'

CONCEPT EAST ELEVATION



FIRST FLOOR LINEAR GLAZING %:
143' - 6" / 205' - 6" = 70%

EAST ELEVATION
1" = 10'-0"

CONCEPT NORTH ELEVATION



NORTH ELEVATION

1" = 10'-0"



WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

CONCEPT WEST ELEVATION



WEST ELEVATION
1" = 10'-0"



CONCEPT SOUTH ELEVATION



SOUTH ELEVATION

1" = 10'-0"

EXTERIOR 3D VIEWS



3D NORTHEAST CORNER



3D SOUTHEAST CORNER

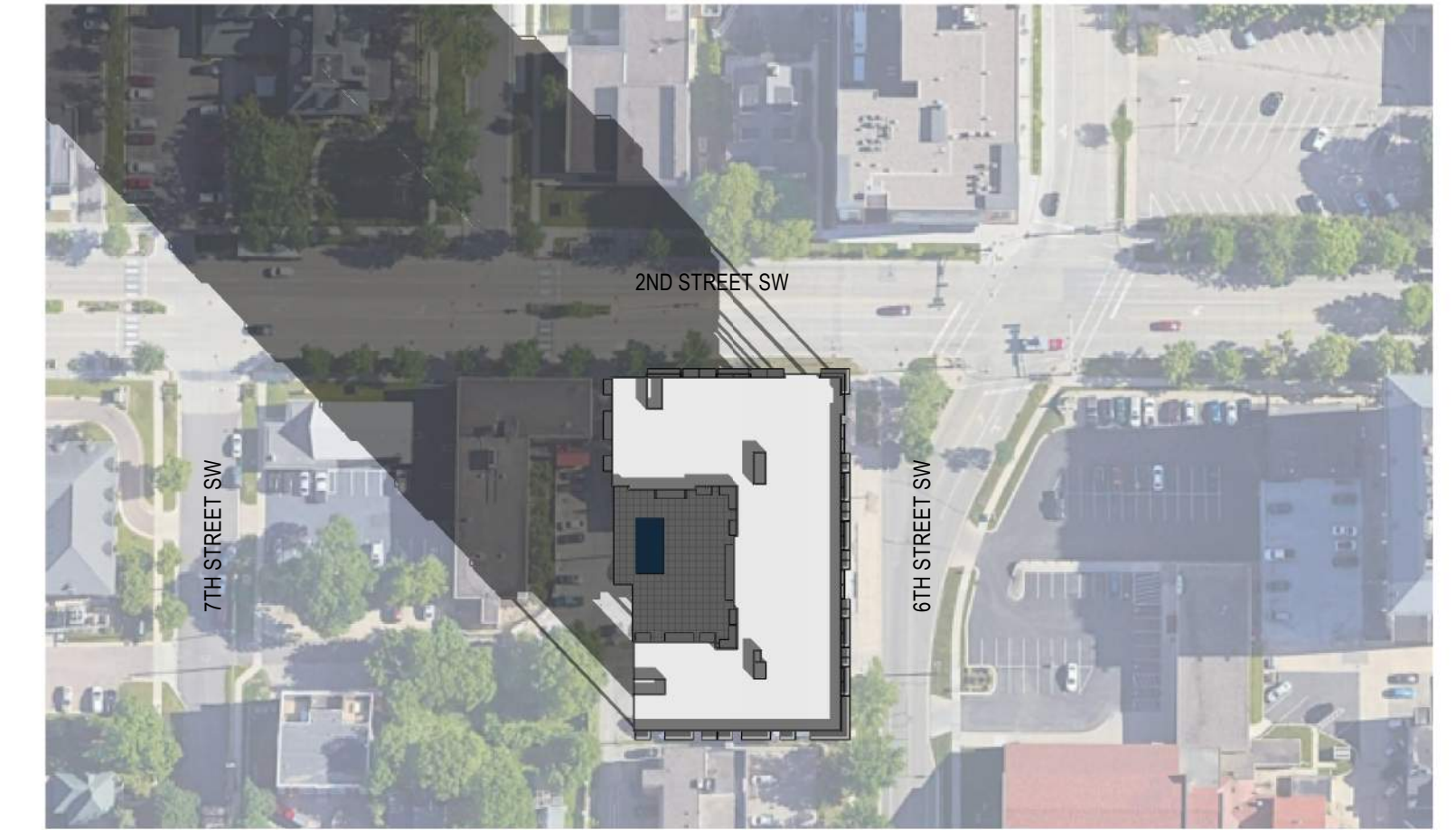
SHADOW STUDIES



JUNE 21, 9 AM



MARCH & SEPT. 21, 9 AM



DECEMBER 21, 9 AM



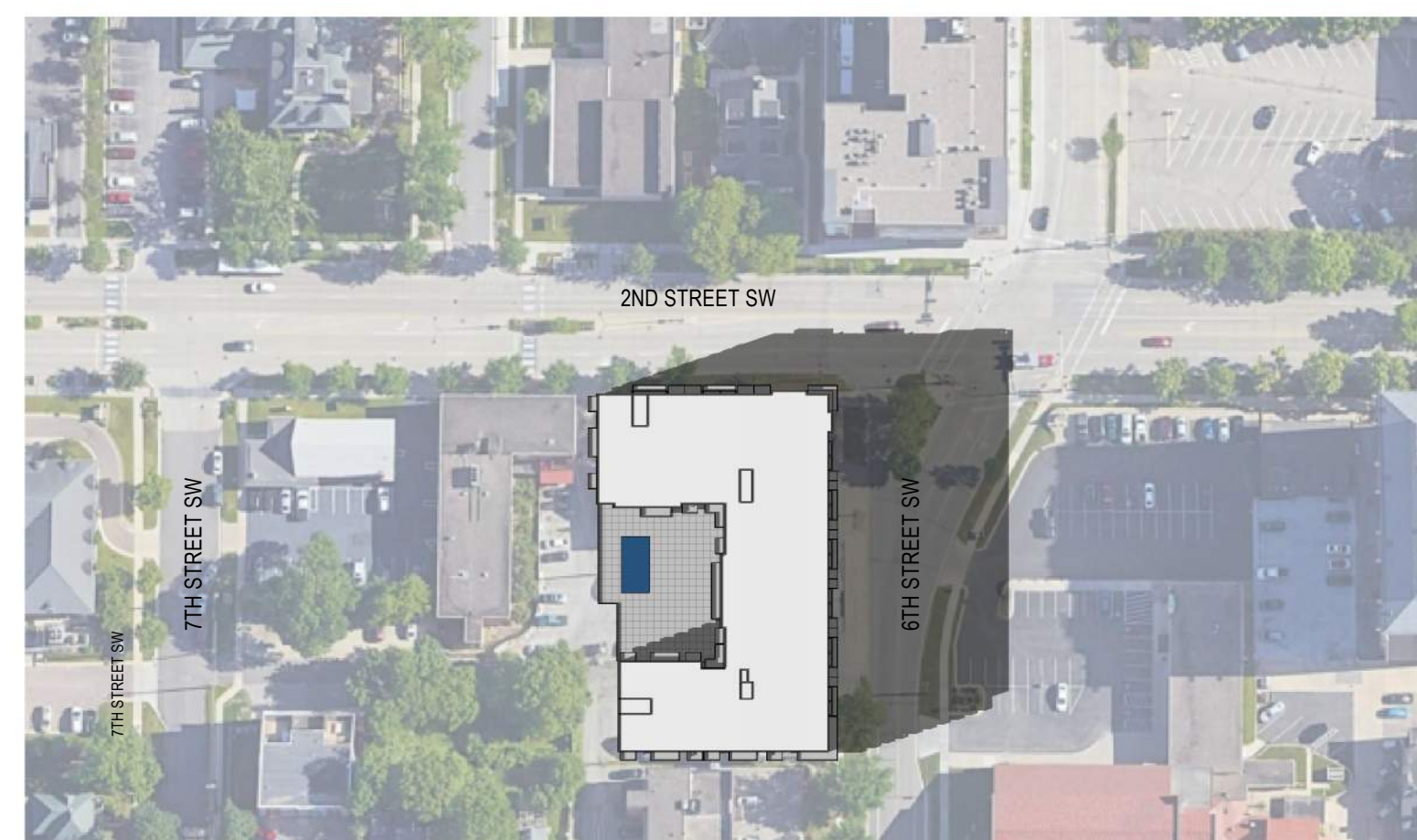
JUNE 21, 12 PM



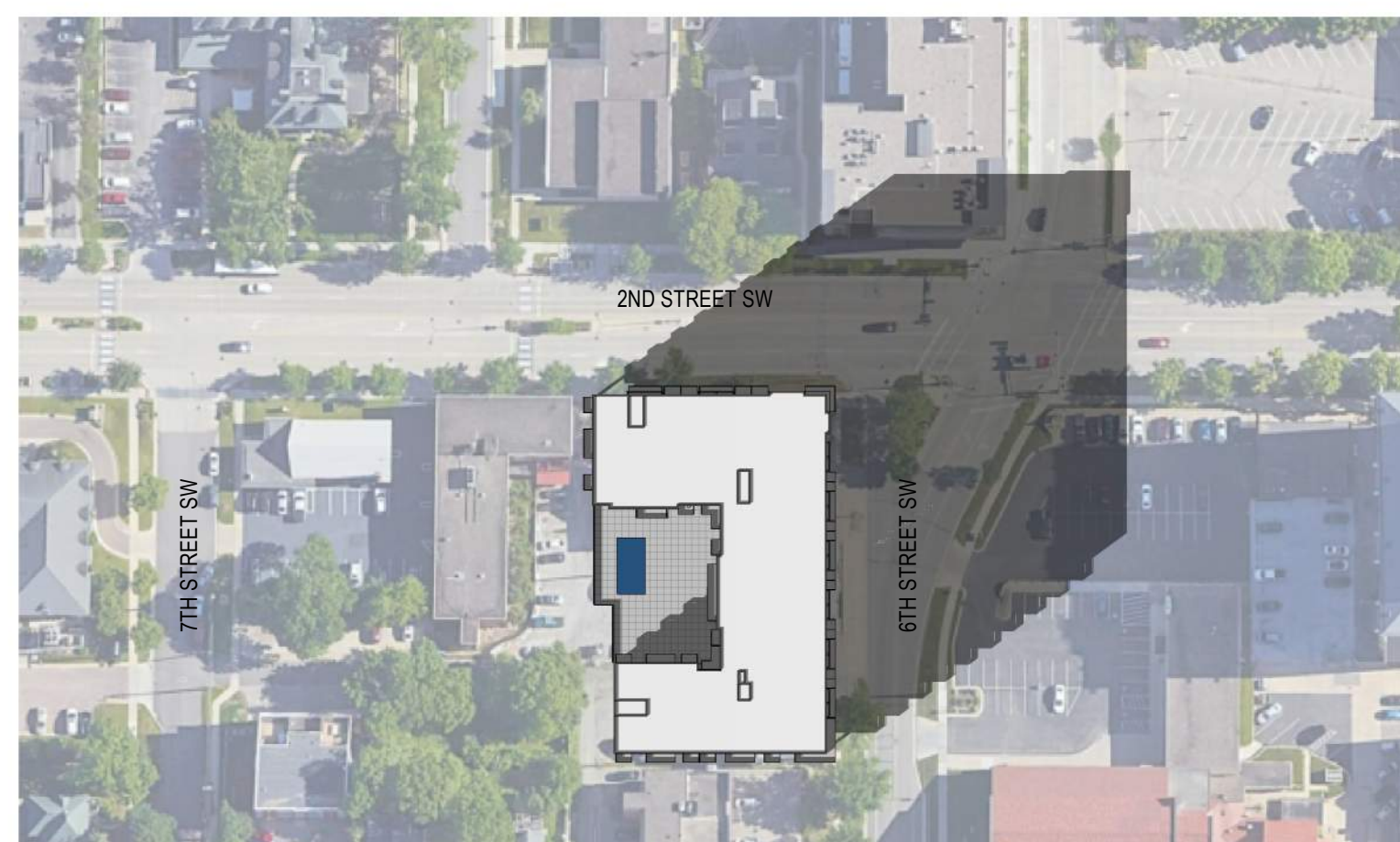
MARCH & SEPT. 21, 12 PM



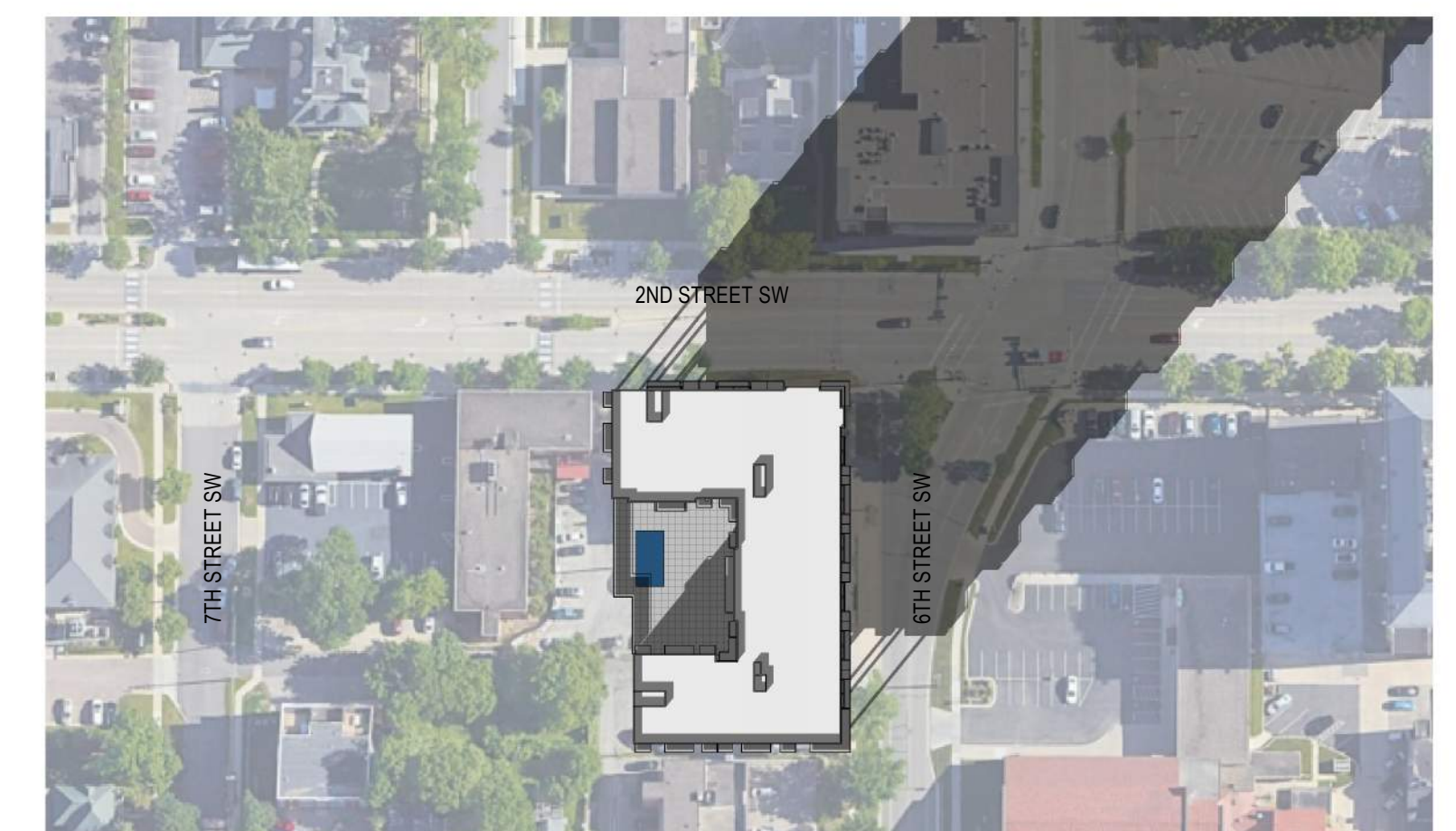
DECEMBER 21, 12 PM



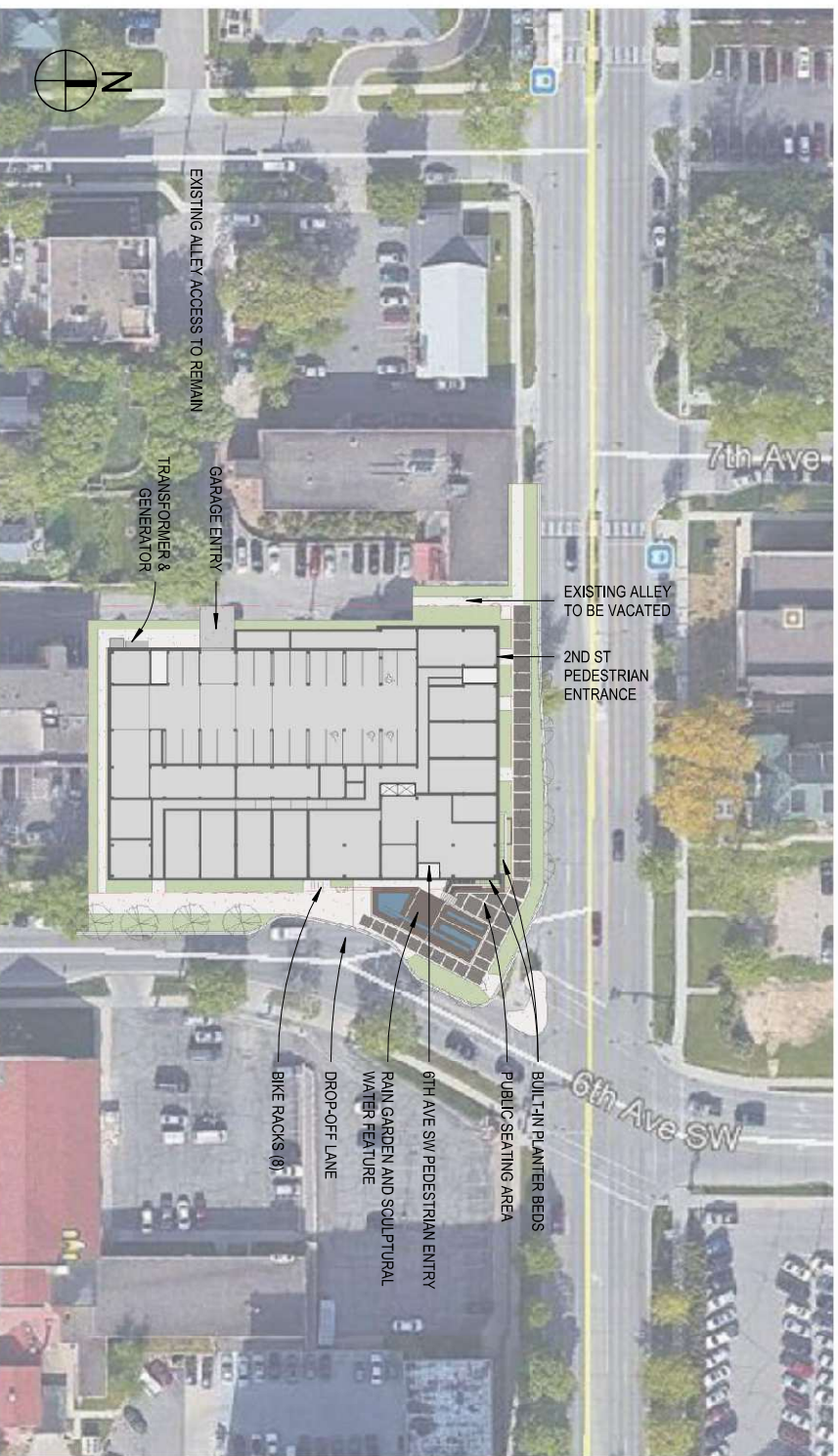
JUNE 21, 3 PM



MARCH & SEPT. 21, 3 PM



DECEMBER 21, 3 PM



GROSS BUILDING AREA AT EACH FLOOR	
LOWER FLOOR (-3)	25774 SF
LOWER FLOOR (-2)	25774 SF
LOWER FLOOR (-1)	25717 SF
1ST FLOOR	26689 SF
2ND FLOOR	20367 SF
3RD FLOOR	20375 SF
4TH FLOOR	20372 SF
5TH FLOOR	20373 SF
6TH FLOOR	20373 SF
7TH FLOOR	20373 SF
8TH FLOOR	20373 SF
9TH FLOOR	20373 SF
10TH FLOOR	20373 SF
11TH FLOOR	20374 SF
12TH FLOOR	20374 SF
Grand Total	327,934 SF

UNIT TOTAL AT EACH FLOOR	
1ST FLOOR	10
2ND FLOOR	25
3RD FLOOR	30
4TH FLOOR	30
5TH FLOOR	30
6TH FLOOR	30
7TH FLOOR	30
8TH FLOOR	30
9TH FLOOR	30
10TH FLOOR	30
11TH FLOOR	17
12TH FLOOR	17
Grand Total	309

F.A.R. SITE AREA 33,187 SF - (.76 ACRES)	
Gross Area Excluding Garages	F.A.R.
240364 SF	7.24

GROSS BUILDING AREA BY USE (GARAGE NOT INCLUDED)	
Amenity Space	6721 SF
Circulation	23059 SF
Common Space	1362 SF
Leasable Units	195852 SF
Utilities	7800 SF
Vertical Circulation	5570 SF
240364 SF	100%

PARKING AT EACH FLOOR	
LOWER FLOOR (-3)	69
LOWER FLOOR (-2)	69
LOWER FLOOR (-1)	69
1ST FLOOR	21
Grand Total Parking	228

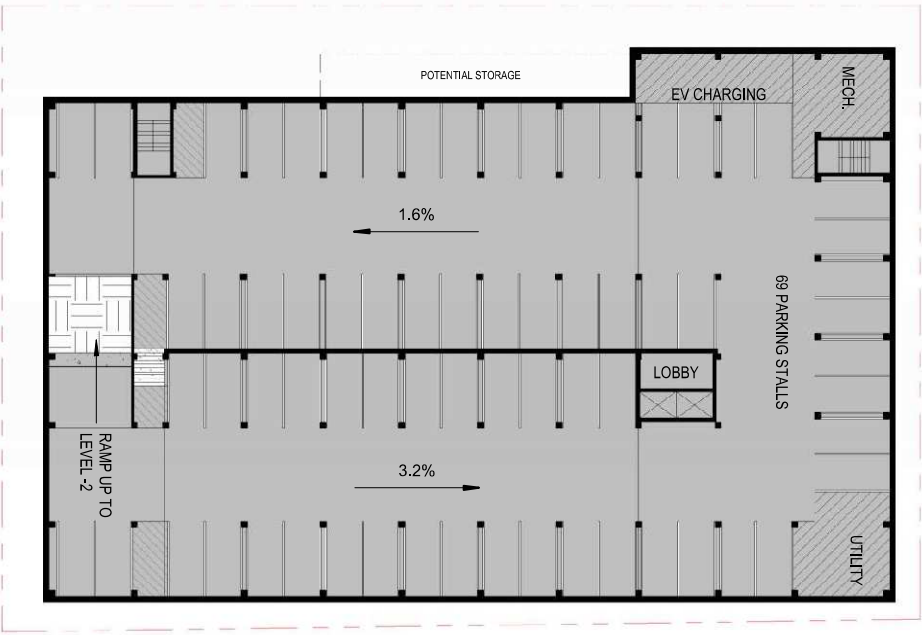
UNIT COUNT	
1 BED	23
1+DEN	9
2 BED	38
STUDIO	239
TOTAL UNITS:	309

Revised
07/13/2023 2:10:36 PM

DESIGN SUMMARY (12 stories)
D1.A | 18033a

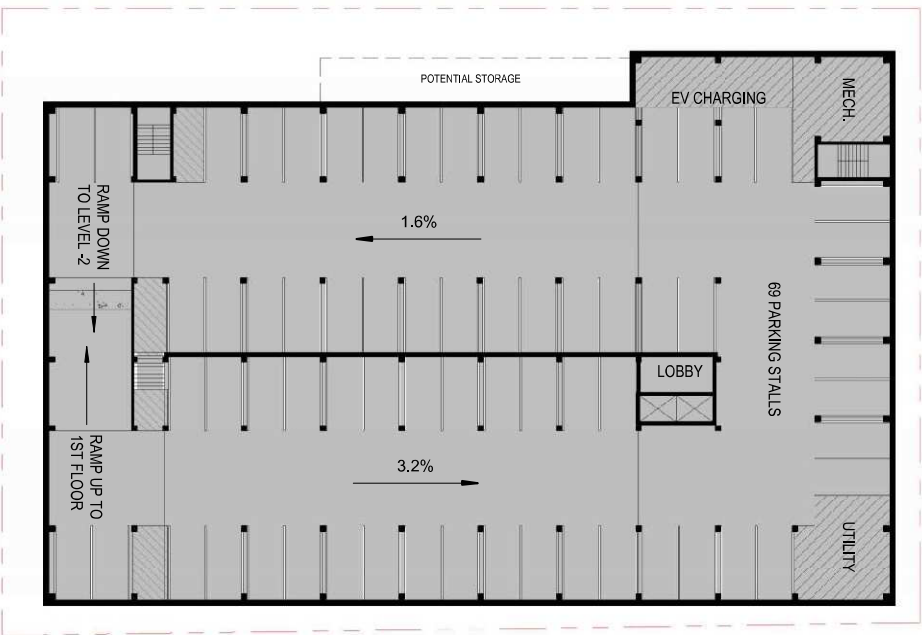
CITYWALK APARTMENTS

215 6TH AVE SW ROCHESTER, MN 55902
06/07/2023



-3 GARAGE FLOOR PLAN

1/4" = 30'-0"



-1 & -2 GARAGE FLOOR PLAN

1/4" = 30'-0"



Revised
07/13/2023 2:10:36 PM

CONCEPT DESIGN PLANS (12 stories)
D3 | 18033a

CITYWALK APARTMENTS

215 6TH AVE SW ROCHESTER, MN 55902
06/07/2023

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3RD - 10TH TYPICAL FLOOR PLAN

1" = 30'-0"



11TH - 12TH FLOOR PLAN

1" = 30'-0"

Revised
07/13/2023 2:10:36 PM

CONCEPT DESIGN PLANS (12 stories)
D5 | 18033a

CITYWALK APARTMENTS

215 6TH AVE SW ROCHESTER, MN 55902
06/07/2023

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9/12/2023

Rochester

3777 40th Avenue NW
Suite 200
Rochester MN 55901

507.292.8743
Rochester@Widseth.com
Widseth.com

To: Rochester City Council, Planning Commission and Community Development Staff

From: DM Companies, Momentum Design Group, and Widseth

RE: Amendment to previously approved Citywalk apartments, by DM Companies, LLC for the development of a twelve story, 361-unit multi-family apartment with short-term rentals.

Location: The southwest corner of 2nd Street SW and 6th Avenue SW.

Project Summary for Citywalk Apartments

Project Description: The Citywalk project is an urban development that seeks to supply density with 361 new rental units to Rochester's growing population. Three levels of below-grade parking will provide residents with the option of interior parking. The ample amenity and work from home spaces at grade allows occupants to feel the pulse of the city while providing space to work, relax and play. The pocket plaza at the corner of 2nd and 6th creates a space for the public to take a moment to enjoy the sculptural rain garden or just take a seat on one of the built-in seating areas.

Project Updates: We preserved the grade level experience from the original design. We replaced the first-floor residential units with enhanced amenity spaces, which allowed us to lower the glazing along the sidewalk to be more accessible to the public and increase the linear amount of glazing across the public-facing elevations. Additional materials and landscaping elements such as green trellises have been added to the north and west elevations. The height of the building adjusted from six to twelve stories and an additional 219 units were added. An additional 108 parking stalls were also added to the underground garage.

Narrative for Citywalk Apartments

See our responses in “**BOLD**” below to the criteria for Conditional Use Permit and Major Modification Approval per sections 60.500.050.A.4 and 60.500.050.A.5.b

A. Conditional Use Permit

Purpose: The Conditional Use Permit procedure provides a mechanism for the city to evaluate proposed land uses that are generally characterized by infrequency of use, high degree of traffic generation, and/or requirement of a large land area. This procedure is intended to ensure compatibility of such uses with surrounding areas and that adequate mitigation is provided for anticipated impacts.

4. Criteria for Conditional Use Permit Approval

a. General: The Planning Commission or the City Council, as indicated in Table 300.02-1, shall approve a Conditional Use Permit if it determines that the proposed use will not create any of the following negative impacts.

1) Vehicular loading, unloading, parking, and vehicular or pedestrian circulation on the site will create hazards to safety or will impose a significant burden upon public facilities; **There are no hazards to safety or significant burdens upon public facilities anticipated. The intersection of 6th Avenue and 2nd Street SW will be redesigned to allow a safer and more efficient intersection for**

all modes of transportation. In addition, a passenger drop-off and loading area are incorporated into the 6th Ave SW right-of-way for added safety of pedestrians and passengers.

2) The Site Development Plan does not provide pedestrian access to any customer/tenant ingress/egress of the building, including from a public right-ofway and off-street parking area that serves the use while minimizing nonvehicular/vehicular conflicts; **The Site Development Plan does provide pedestrian access and minimizes pedestrian and vehicular conflicts by constructing an 8-foot sidewalk along 6th Avenue SW and a 10-foot sidewalk along 2nd Street SW. Decorative pavement is incorporated parallel to 2nd Street and 6th Avenue SW to draw the eye to the building entrances and accentuate the corner. Additional design elements to create and enhance the “gateway” experience include:**

Greatly expanding the connectivity at the first floor of the building along 2nd and 6th by:

- **Providing a main lobby lounge space with extensive glazing that wraps the building to provide a more active use at this marquee location.**
- **Adding lively interior design elements to add more character, color, and interest, providing for greater visual interest and visible activity along the pedestrian and vehicular traffic corridor.**
- **Putting more "eyes on" the public corridor for an added sense of safety and activity.**
- **Adding a large storefront feel on the public street’s façade to soften the building and allowing better visibility.**
- **Designing terrace like steps at the corner that gradually step down to create a strong connection between the public corner and the building edge which allows seating, art, and plantings to occur at this highly visible corner, creating a sociable space at this “gateway” intersection.**

3) The operation of the use will create significant negative impacts on the surrounding area or will impose undue burdens on the sewers, sanitary and storm drains, water, or similar public facilities; **The operation of the proposed use will not create significant negative impacts on the surrounding area or impose undue burdens on any public infrastructure. The recently adopted goals and policies of the City of Rochester encourage higher density residential development downtown. With the BRT Station just across the street from this location, higher densities make the transportation investments made by the City of Rochester a viable alternative to the automobile for people to get to-and-from work, grocery stores, restaurants, and entertainment. Additionally, the utility infrastructure is adequate for the proposed 12-story apartment building.**

4) The application will create significant negative environmental impacts on the surrounding area. **There are no environmental impacts anticipated that will affect the surrounding area.**

5) The application or related Site Development Plan fails to comply with one or more previous use or development approvals for the property, including without limitation any Distinctive Development approval or General Development Plan applicable to the property; and/or **The property is within the R-4 (High Density) Residential Zoning District. This district is intended to maintain and promote multifamily residential dwellings of the highest intensity along with certain supportive commercial and non-residential and civic uses of similar intensity. Additionally, this district allows a height of 115 feet with an additional 10 feet for a total max of 125 feet. Previously, the property was in the CDC-RES (Central Development Core –**

Residential) Zoning District where approval was granted for a 107,759 SF, six -story, 142-unit apartment with underground parking, pool and other amenities.

6) The application or related Site Development Plan fails to comply with all applicable UDC regulations or other City adopted regulations applicable the use or zone district in which the property is located, including but not limited to any Use-Specific Standard applicable to the proposed use in Section 60.300.020, unless a Minor Modification, Major Modification, or Variance permitting that deviation has been approved by the City. **The property is within the R-4 (High Density) Residential Zoning District. This district is intended to maintain and promote multifamily residential dwellings of the highest intensity along with certain supportive commercial and non-residential and civic uses of similar intensity. Additionally, this district allows a height of 115 feet with an additional 10 feet for a total max of 125 feet through the Major Modification process, which is part of this submittal.**

5. Modifications to Approved Conditional Use Permits

b. Major Modifications: Modifications to approved Conditional Use Permits that are not listed in Subsection a. 2) above (**below**) may only be approved through the same process used to approve the Conditional Use Permit being amended.

1) Subject to the restrictions listed below, the Community Development Director is authorized to make changes to approved Conditional Use Permits if necessitated by engineering factors or other circumstances unforeseen at the time the permit was approved.

2) Minor modifications include but are not limited to modification in building locations; height; maximum lot coverage; maximum or minimum floor area; exterior facades; landscaping materials and placement; design of public facilities; and the addition, deletion, or change of accessory structures or uses; but do not include any modification of required public infrastructure addressed in a development agreement and do not include any of the following:

(a) In the case of residential development, an increase or decrease in the number of approved dwelling units by more than 10 percent; **Does not apply. The existing R-4 does not have unit density maximums.**

(b) An increase or decrease in the floor area ratio resulting in more than ten percent change in building coverage on the lot; **Does not apply. The existing R-4 does not have FAR maximums.**

(c) Changes in site design that may create problems or conflicts associated with vehicular traffic, transit vehicle or patron, non-motorized vehicle or pedestrian circulation on-site and at access points; **There are no conflicts associated with vehicular traffic, transit vehicle or patron, non-motorized vehicle or pedestrians anticipated. The intersection of 6th Avenue and 2nd Street SW will be redesigned to allow a safer and more efficient intersection for all modes of transportation. In addition, a passenger drop-off and loading area are incorporated into the 6th Ave SW right-of-way for added safety of pedestrians and passengers.**

(d) Inadequate public facilities; **There are not inadequate facilities. The recently adopted goals and policies of the City of Rochester encourage higher density residential development downtown. With the BRT Station just across the street from this location, higher densities make the transportation investments made by the City of Rochester a viable alternative to the automobile for people to get to-and-from work, grocery stores,**

restaurants, and entertainment. Additionally, the utility infrastructure is adequate for the proposed 12-story apartment building.

(e) A reduction in off-street parking and loading spaces, unless the reduction in parking does not result in non-conformance with the requirements of this UDC; Chapter 60.500: Procedures and Administration Section 60.500.050 Decisions That Require a Hearing by a Designated Authority Section 60.500.050A: Conditional Use Permit Rochester, Minnesota Unified Development Code Version: July 2023 350: **There are a total of 361 units. The off-street parking requirements of the R-4 (High Density) Residential Zoning District have a range of 0.5 to 1.5 per unit. The required off street parking space would be in the range of 181 to 542. We are proposing 250 off street, underground parking spaces as part of this development and do not need any further reduction. Additionally, passenger loading and unloading will be conducted in the drop off lane on 6th Ave and garbage pickup will be handled inside the building.**

(f) A significant change in the character of the project as originally approved including:

(i) Elimination of one of the major approved elements of the project such as the approved use; **N/A**

(ii) Reduction of transparency at the ground level, by more than 10 percent either through elimination of glass, or obstruction of more than 10 percent of glassing that reduces the visibility in and out of the structure; and **Transparency at the ground level has been significantly increased. With the enhanced amenity spaces on the first level and the removal of the first-floor residential units, windows were lowered and glazing was increased across the public-facing elevations.**

(iii) Significant change in either the durability or quality of building materials or landscaping. **N/A**

Destination Medical Center District Design Guidelines

The following is a review of the proposed development in comparison to applicable portions of the DMC Design Guidelines. These guidelines shall be considered for projects seeking approval by City Council. All guidelines which are applicable to the project shall be considered in its design.

A.02 Enhance Connection to Nature and Natural Systems

The DMC goals suggest physical and visual connections to Rochester's natural landscape and encourage walking. **The proposed project is located at the intersection of 6th Avenue and 2nd Street SW, where the system of pedestrian and bikeways are highlighted by the addition of pedestrian and bike facilities providing direct connections to the BRT System and primary transit networks. The proposed project supports these systems to encourage walking and enhance the public realm.**

A.04 Strengthen Gateways

The site is located at the intersection of two major streets and could be considered a gateway location. Implementation of strategies outlined by the 2nd Street Corridor Plan and the DMC Guidelines for widened sidewalks with pedestrian-oriented spaces with amenities will help to enhance this location as a gateway between DMC Districts.

There is an 8-foot sidewalk along 6th Avenue SW and a 10-foot sidewalk along 2nd Street SW. Decorative pavement is also incorporated parallel to 2nd Street and 6th Avenue SW to draw the eye to the building entrances and accentuate the corner. Additional design elements to create and enhance the “gateway” experience include:

Greatly expanding the connectivity at the first floor of the building at 2nd and 6th by:

- Adding the main lobby lounge and amenity space with extensive glazing that wraps the corner to provide a more active use at this marquee location.
- Adding lively interior design elements add more character, color, and interest along the public-street façade and providing for greater visual interest and visibly activating the pedestrian and vehicular traffic corridor.
- Putting more "eyes on" the public corridor for an added sense of safety and activity.
- Adding a large storefront feel on the public street façades to soften the building and allow better visibility.
- Designing terrace like steps at the corner that gradually step down to create a strong connection between the public corner and the building edge which allows seating, art, and plantings to occur at this highly visible corner, creating a sociably interactive space at this “gateway” intersection.

B.01 Design Streets for Pedestrians

The DMC goal is to establish a walkable, pedestrian-friendly environment to create a healthy city, sustainable and a vibrant public realm. This guideline includes recommendations for sidewalk widths, street furniture, sidewalk materials, etc. **The proposed project identifies many pedestrian amenities along both street frontages, such as;**

- Eight-foot and 10-foot sidewalks and decorative pavement along 2nd and 6th.
- Enhancing the pedestrian entrance on 2nd street
 - Adding the L-shaped canopy element to create a sense of space and entry at the sidewalk. This also brings down the scale of the entry to a pedestrian-friendly level.
 - Increasing glazing, lighting, and adding warm wood materials to enhance the appeal of the space and increase the visual interest of the façade.
- Having the primary entrance close to the corner while maintaining accessible access from the public sidewalk/street.
 - A canopy design element that coordinates with the overall design. High gloss material will be an attractive accent element that draws attention to the building entrance.
- Adding "pocket park" / bench seating area at the corner of the new building.
 - Providing additional pedestrian scale design elements (plantings, landscaping, and seating) creates an inviting open space along the public sidewalk.

B.02 Design Streets for Bicycles

The DMC goal promotes bike-friendly environments that contribute to creating a healthy city (more biking) and sustainable city (less driving). **The proposed development identifies an enclosed bicycle parking area within the building footprint on the northwest side of the building. The proposed bike parking spaces comply with the goals of the DMC Guidelines. The details of the bicycle parking spaces**

are shown and noted on the Concept Design Plans indicating an exterior space for 8 bikes on 6th Avenue and additional bike parking inside the building on the first floor.

B.03 Design Streets for Mass Transit

The DMC goal is to provide convenient and safe mass transit system to create a healthy and sustainable city. **The City of Rochester P2S Comprehensive plan identifies 2nd Street SW as a key segment of the Primary Transit Network (PTN) which will support Bus Rapid Transit (BRT) connections within the City. The development is located within 300 feet of two major transit stops. The proposed project incorporates the transit systems into its design by providing pedestrians and bicyclist modes to move within and through the site.**

B.04 Design Safe Efficient Roadways

The DMC goal proposes to provide efficient and safe roadways that accommodate pedestrians, bicycles and mass transit system to create a thriving economy, healthy city, sustainable city and a vibrant public realm. **The proposed project uses alley access off 7th Ave SW for the vehicular connection to the roadways system and supports drop off and pick up of users of the facility from a designated pedestrian drop-off area on 6th Ave SW. The design of the project does not create new vehicular or pedestrian conflicts on 2nd Street SW or 6th Avenue SW because we are eliminating the existing alley connection to 2nd street on the north side side of the site and an access point on the east side of the site connecting to 6th Ave SW.**

C.01 Design Buildings to Establish Sense of Urban Enclosure

The DMC guidelines support creating public spaces that attract people and create an identity for the district. The intent of this section is to allow for the placement of building façades close to street frontages while promoting building step-backs in upper floors to allow reduced blockage of natural light to the street and sidewalks. **The proposed development will increase the sense of place through short building setbacks on all street frontages, the public pocket park in the northwest corner of the building, the terrace like steps for seating, public art and plantings at a highly visible space, decorative screening and planting elements along the sidewalk adjacent to the building, and increased glazing for a storefront streetscape.**

C.03 Contribute to a Vibrant Streetscape

The DMC Design Guidelines recommend the placement of active uses, building entrances at regular intervals and windows allowing views into the building along the ground level. **The eastern street frontage features a pedestrian entrance, a vaulted canopy, planters and shrubbery plantings. The design elements for pedestrians that enhance the vibrancy of the streetscape include:**

- **Enhancing the pedestrian entrance on the corner of 6th Ave SW and 2nd Street SW**
 - **Adding the L-shaped canopy element to create a sense of space and entry at the sidewalk. This also brings down the scale of the entry to a pedestrian-friendly level.**
 - **Increasing glazing, lighting, and adding warm wood materials to enhance the appeal of the space increases the visual interest of the façade.**
- **The primary entrance on 6th Ave closer to the corner maintains the accessible access from the public sidewalk/street.**
 - **The canopy design element coordinates with the overall design. High gloss material will be an attractive accent element that draws attention to the building entrance.**
- **Adding "pocket park" / bench seating at the corner of 6th Ave SW and 2nd street SW.**

- Providing additional pedestrian scale design elements (plantings, landscaping, and seating) creates an inviting open space along the public sidewalk.

In addition, we are greatly expanding the connectivity at the first-floor corner of the building at the intersection of 2nd and 6th by:

- Adding amenity space to the first floor and adding extensive glazing that wraps the corner to provide a more active use at this marquee location.
- Adding lively interior design elements add more character, color, and interest at this corner. Providing for greater visual interest and visible activity along the pedestrian and vehicular traffic corridor.
- Putting more "eyes on" the public corridor for an added sense of safety and activity.
- Adding a large storefront feel at the corner softens the corner allowing better visibility.
- Designing terrace like steps at the corner that gradually step down to create a strong connection between the public corner and the building edge which allows seating, art, and plantings to occur at this highly visible corner, creating a sociable space at this "gateway" intersection.
- Increasing the size and amount of glazing at the first floor along both 2nd Street and 6th Avenue SW enhances the visual appeal and sense of activity along the public way.

C.05 Design for Coherency

The DMC goal is that the building is designed with a coherent design to contribute to a vibrant public realm with a walkable, pedestrian-friendly environment. This guideline includes recommendations for design details like signage, awnings, lighting, and the screening of utility, trash, and other equipment.

The trash/recycling area is located within the building footprint, near the northwest corner of the building. The area is completely screened from public view, within the parking garage area. The plans do not indicate the location of other utilities such as gas meters or an area for deliveries. Additional detail for the locations and screening of trash collection, deliveries, utilities, and mechanical equipment will be necessary for the final development application. **Trash collection and deliveries will be through the garage entry on the west side of the building. Utilities will be stubbed into the building in the areas labeled as "Mech." and "Elec." on the Concept Design Plans.**

C.06 Design for Flexibility and Adaptability for Future Use

The DMC Goal looks for designs that are adaptable and flexible which support a thriving economy. **This guideline contains recommendations for floor heights and structural spacing to make a building adaptable for future uses. The proposed building has a first-floor height of 15 feet and floors 2-12 are 10 feet (total height = 125 ft.)**

C.07 Create Spaces for Collaboration

The DMC Design Guidelines emphasize the need for collaborative spaces that are an extension of the public realm. **The development design includes indoor spaces that allow for seating, as well as a pool deck area with communal seating available to residents. Amenity space was added along the first floor and pedestrian seating is included in the "pocket park" in the northeast corner with terrace-like steps and active art.**

C.08 Meet Sustainable and Healthy Building Design Standards

Meeting sustainable and healthy design standards in all structures addresses the goal of creating a sustainable, and healthy city. Structures should be designed to minimize environmental impacts and produce a healthy environment for occupants.

Sustainable Design Elements include:

- **Energy efficiency above code requirements; we work with the mechanical engineer and the building envelope design to achieve this.**
- **Oversized, efficient windows and patio doors allow for greater daylighting and thus reduced usage of artificial lighting.**
- **LED Lighting.**
- **Dedicated recycling trash chute collection at each floor; separate from trash.**
- **Large, secure bike storage room with a bike repair station and air pump to encourage cycling instead of cars. Additional bike racks for visitors.**
- **Dedicated parking stalls for electric vehicle charging.**
- **White roofing for reduced heat gain during peak cooling times in the summer.**
- **Efficient appliances and low flow plumbing fixtures.**
- **Low VOC paints.**

C.11 Design Parking Structures to Enhance Pedestrian Realm

The DMC goal is to design parking structures to minimize impacts to pedestrian environment. **Parking areas are designed within the footprint of the proposed development with three levels of below grade parking. This parking placement is consistent with the intent of the DMC Design Guidelines.**

2nd Street Corridor Plan

The 2nd Street Corridor Plan includes recommendations for development on the north and south sides of 2nd Street SW. The property is in the East District, as identified by the 2nd Street Corridor Plan. Recommendations from this plan related to the current development include the following:

- **Concentration of density and intensity along 2nd Street SW.**
- **Encouraging parking structures to be on the interior of the block and visually integrated with the architecture.**
- **Incorporating streetscape elements such as more street trees, planters, monuments, public art, kiosks, and benches to create a more inviting and comfortable sidewalk environment and promote more sidewalk activity.**
- **Providing wider sidewalks for pedestrians throughout the corridor.**
- **Encouraging centralized bicycle parking (such as on-street bicycle corrals) at convenient locations for bicyclists to park their bikes and walk to places along Second Street.**

Additionally, a 10-foot sidewalk on the north-frontage along 2nd Street SW and an 8-foot sidewalk on the east frontage along 6th Avenue SW has been added. Decorative pavement is also incorporated parallel to 2nd Street and 6th Avenue SW to draw the eye to the building entrances and accentuate the “gateway” corner. Bicycle parking spaces are shown and noted on the Concept Design Plans indicating an exterior space for 8 bikes on 6th Avenue and inside the building on the first floor.

Logan Tjossem, AICP
Principal Planner
Widseth

Agency Review Comments

Application No: CD2023-003CUP-A

9/18/2023 **Building Plan Review**

9/29/2023 **County GIS/E911**

See attached document 2023-09-29_CD2023-003CUP-A_CUPresponse.pdf.

9/20/2023 **County Public Works**

9/26/2023 **Fire Review**

9/18/2023 **LGU**

There are no Wetland or Decorah Edge concerns. The existing buildings will need well inspections during the Demolition permit process.

10/2/2023 **Public Works Review**

See attached comment in Accela software.

9/20/2023 **RPU Electric Review**

Refer to uploaded RPU plan review comments from City Bluebeam session that remain unaddressed by design team in submitted plans

9/18/2023 **RPU Water Review**

Plan revisions are required. Plan review mark-ups were emailed directly to the consultant on 9/18/23. A note needs to be added to the landscaping plan stating all trees and large shrubs are required to be planted 10' min. clear of water main and water services and 15' min. clear of fire hydrants. Also, a note needs to be added to have the contractor verify if the ex. 1" water service to 612 2nd Street SW is connected to the water main and if it is then it needs to be disconnected properly per RPU Rules & Regs.

TO: Community Development
4001 West River Parkway NW, Suite 100
Rochester, MN 55901-7090

FROM: Mark E. Baker

RE: Citywalk Apartments (Part of Lots 5-8, Block 15, Head & McMahon's Addition)

DATE: 9/29/23

The Department of Public Works has reviewed the requested application for Incentive Development Plan CD2023-003CUP-A (previously reviewed as CD2021-025CUP Final Plan and CD2022-004CUP-A) for the proposed Citywalk Apartments. The following are Public Works comments for this request:

1. Civil & Drainage Plan approval is required for this project prior to commencing any construction activity. The applicant's consulting engineer is coordinating the review and approval process with Public Works.
2. A Traffic Control Plan for during construction is required of the developer as part of the Obstruction Permit approval process.
3. The 8 ft wide sidewalk section along 2nd St SW should be extended to the west property line.
4. The Owner's representative has requested the City prepare an Individual Site Development Agreement for execution by the Owner to memorialize Owner's and City's obligations regarding items such as improvements to 6th Ave SW, Streetscaping, allowed encroachments into public easements / ROW, seasonal maintenance of the alley (snow removal), general improvements to the alley, development related charges, public use of pedestrian orientated spaces outside of the public ROW, etc. The agreement shall be executed prior to commencing construction activity for the Project.
5. Execution of a City-Owner Contract will be required for all public improvements constructed for this proposed redevelopment, as well as, for reconstruction of any existing public infrastructure within the public ROW or easements.
6. Development charges/fees applicable to the redevelopment of this property include the following and unless otherwise stated shall be paid prior to issuance of utility connection permit(s), or at the City's discretion, within 30 days after invoicing rates are valid through 12/31/23:
 - ❖ Trunk Sewer District Charge (TSC) for the East Zumbro Silver Creek Sub district @ \$10,688.26* per acre
 - ❖ Water Availability Charge (WAC) @ \$3,321.66* per acre
 - ❖ Storm Water Management Area Charge – If applicable, TBD and paid as part of the Grading Permit approval.
 - ❖ Plant Investment Fee (PIF) – TBD and collected through the Building Permit process.

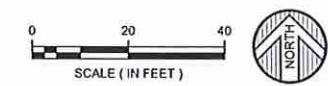
Sent to Planning Department via Accela only

DATE: 08/22/2023
LIC. NO. 44228

DATE	REVISIONS	DESCRIPTION
8-23-2023	1	12-STORY OPTION

DATE	BY	AS SHOWN	A.A.P.	C.N.B.	JOB NUMBER
AUGUST 2023	AS SHOWN	A.A.P.			2023-11183

CITYWALK APARTMENTS 12-STORY OPTION
GMH COMMUNITIES
ROCHESTER, MN
UTILITY PLAN



City of **ROCHESTER** Minnesota
Department of Public Services
CITYWALK APARTMENTS
CITY PROJECT NO. J-5586

RECOMMENDED FOR APPROVAL _____ DATE _____ CITY ENGINEER _____

RECOMMENDED FOR APPROVAL _____ DATE _____ RPW - WATER DEPARTMENT _____

SITE ADDRESS: 610 2ND ST SW,
604 2ND ST SW,
PARID 640221009439,
211 6TH AVE SW,
ROCHESTER, MN 55902

PROPOSER: GMH COMMUNITIES
10 CAMPUS BOULEVARD
HEWTON SQUARE, PA 190737
CONTACT: KEVIN LYDEN
PH: 610-600-1052
EMAIL: KLYDEN@GMHCOMMUNITIES.COM

ARCHITECT: MOMENTUM DESIGN GROUP
755 N PRIOR AVE N #301A,
ST. PAUL, MN 55114
CONTACT: JESSE HAVNER
PH: (612) 859-5333
EMAIL: JESSE@MDGARCHITECTS.COM

CIVIL ENGINEER: WIDSETH SMITH NOLTING
3777 40TH AVE NW, SUITE 200
ROCHESTER, MN 55901
CONTACT: CRAIG BRITTON
PH: (507) 206-2125
EMAIL: CRAIG.BRITTON@WIDSETH.COM

- CB-1 DRAINAGE STRUCTURE TYPE 2
F&I CASTING TYPE 7 - ROCHESTER PLATE NO. 1-12
RIM = 1040.00
INV N = 1036.00' (12" PVC - CB-2)
- CB-2 DRAINAGE STRUCTURE TYPE 2
F&I NEENAH R-2558
RIM = 1036.14
INV SE = 1032.24' (12" PVC - CB-1)
INV N = 1032.14' (12" PVC - CB-3)
- CB-3 DRAINAGE STRUCTURE TYPE 2
F&I NEENAH R-2558
RIM = 1031.97
INV S = 1028.42' (12" PVC - CB-2)
INV E = 1028.42' (16" PVC - ST-1)
INV N = 1028.32' (16" PVC - CB-4)
- CB-4 DRAINAGE STRUCTURE TYPE 2
F&I NEENAH R-2558
RIM = 1032.08
INV S = 1028.18' (16" PVC - CB-3)
INV N = 1028.08' (16" PVC - CB-5)
- CB-5 DRAINAGE STRUCTURE TYPE 1
F&I NEENAH R-3067-V
CONNECT TO EXISTING STORM SEWER (2 EACH)
RIM = 1029.08
INV W = 1026.05 (12" RCP - EX)
INV S = 1026.15 (16" PVC - CB-4)
INV E = 1026.05 (15" RCP - EX CB-1)
- CB-6 DRAINAGE STRUCTURE TYPE 1
F&I NEENAH R-3067-V
RIM = 1032.21
INV S = 1026.71 (12" RCP - EX) (PER 00126 CONST. PLAN - FV)
INV N = 1026.48 (12" RCP - ST-2) (PER 00126 CONST. PLAN - FV)
- CB-7 DRAINAGE STRUCTURE TYPE 1
F&I NEENAH R-3067-V
RIM = 1035.50
INV E = 1032.54 (12" RCP - STMH-1)
INV N = 1032.29 (8" DIP - A-1)
- STMH-1 DRAINAGE STRUCTURE TYPE 2
F&I CASTING TYPE 4 - ROCHESTER PLATE NO. 1-12
RIM = 1035.96
INV W = 1031.00 (12" RCP - CB-7)
INV S = 1030.72 (EX) (PER 00126 CONST. PLAN - FV)
INV N = 1030.49 (EX) (PER 00126 CONST. PLAN - FV)
- ST-1 INV = 1029.18 (15" SDR26 PVC)
- ST-2 CONNECT TO EX 12" RCP
INV = 1023.74 (PER 00126 CONST. PLAN - FV)
- EX CB-2 RIM = 1028.32
INV N = 1024.27 (12" RCP - CS-1)
INV N = 1024.17 (EX)
- A-1 INV = 1032.00 (8" DIP - CB-7)
- CS-1 DRAINAGE STRUCTURE TYPE 1
F&I NEENAH R-2558
RIM = 1030.60
INV NW = 1026.42 (12" RCP - EX CB-2)
- W-1 F&I 8"X8" TAPPING SLEEVE AND VALVE 1.5' WEST
FIELD VERIFY LOCATION OF EXISTING WATER MAIN
- W-2 F&I 8"X8" TEE
F&I 8" GATE VALVE & BOX - 3' SOUTH (PRIVATE)
F&I 8"X6" REDUCER - 3' NORTH
F&I 6" GATE VALVE & BOX - 6' NORTH
F&I HYDRANT ASSEMBLY - 9' NORTH
BREAK OFF ELEV. = 1038.76
- W-3 F&I 8" 90° BEND
- W-4 CONNECT TO EXISTING SERVICE
FIELD VERIFY SERVICE LOCATON
- W-5 F&I 1.5" CURB STOP AND BOX - SDP 6-11 AND 1-10
- W-6 F&I 1.5" CORPORATION STOP - SDP 6-11
F&I DOUBLE STRAP IRON SERVICE SADDLE

- UTILITY CROSSING #1
SANITARY SEWER T.O.P. = 1017.41
WATER SERVICE INVERT = 1022.00 (FV)
- UTILITY CROSSING #2
SANITARY SEWER SERVICE T.O.P. = 1018.67 (FV)
STORM SEWER INVERT = 1022.10
- UTILITY CROSSING #3
WATER SERVICE T.O.P. = 1020.59
STORM SEWER INVERT = 1022.09
NOTE: PLACE 4" POLY INSULATION BETWEEN PIPES
- UTILITY CROSSING #4
SANITARY SEWER SERVICE T.O.P. = 1019.10
STORM SEWER INVERT = 1025.94
- UTILITY CROSSING #5
WATER SERVICE T.O.P. = 1021.77
STORM SEWER INVERT = 1025.89
- UTILITY CROSSING #6
SANITARY SEWER SERVICE T.O.P. = 1024.49 (FV)
STORM SEWER INVERT = 1028.79
- UTILITY CROSSING #7
WATER SERVICE T.O.P. = 1025.11
STORM SEWER INVERT = 1028.85
- UTILITY CROSSING #8
SANITARY SEWER SERVICE T.O.P. = 1028.66 (FV)
STORM SEWER INVERT = 1033.06
- UTILITY CROSSING #9
WATER SERVICE T.O.P. = 1028.96 (FV)
STORM SEWER INVERT = 1033.19
- UTILITY CROSSING #10
WATER SERVICE T.O.P. = 1031.95 (FV)
STORM SEWER INVERT = 1034.05 (FV)
- UTILITY CROSSING #11
SANITARY SEWER T.O.P. = 1030.37 (FV)
WATERMAIN INVERT = 1032.41 (FV)
**NOTE: IF, UPON INSPECTION, THERE WILL BE LESS THAN 1.5' VERTICAL CLEARANCE, CONTACT ENGINEER.
- UTILITY CROSSING #12
SANITARY SEWER T.O.P. = 1024.89
STORM SEWER INVERT = 1032.05

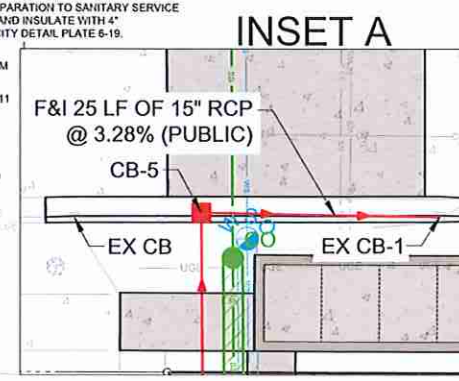
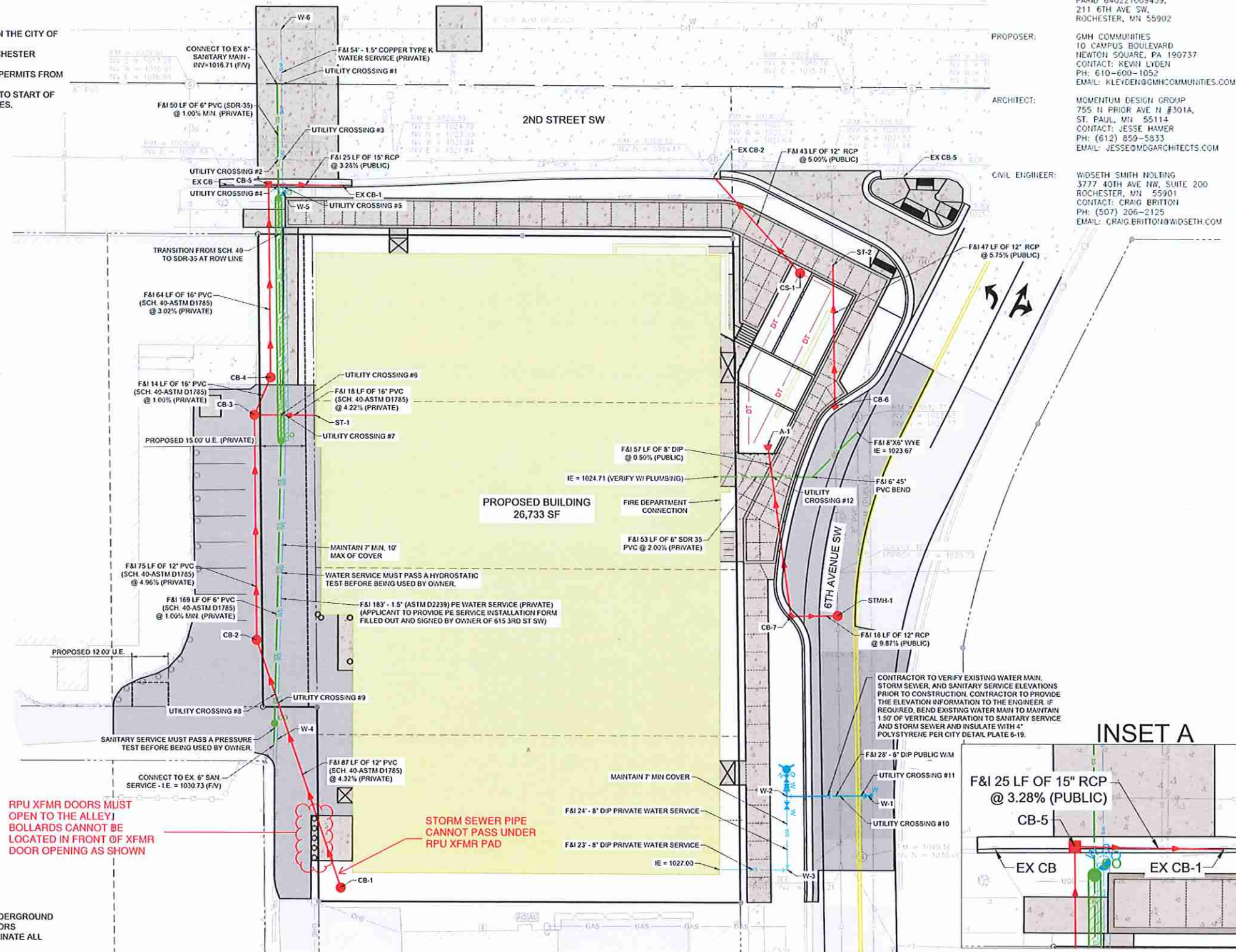
- UTILITY NOTES:
- ALL WORK NEEDS TO BE COMPLETED BY A LICENSED CONTRACTOR WITHIN THE CITY OF ROCHESTER
 - ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCHESTER SPECIFICATIONS AND DETAILS - LATEST EDITION.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY CONNECTION PERMITS FROM THE CITY OF ROCHESTER PUBLIC WORKS DEPARTMENT.
 - CONTRACTOR SHALL CONTACT RPW AND THE CITY OF ROCHESTER PRIOR TO START OF WORK (DISCONNECTION OF SERVICES AND INSTALLATION OF NEW SERVICES).

PROPOSED FEATURES LEGEND

[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED EXPOSED AGG CONCRETE
[Symbol]	PROPOSED BITUMINOUS
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED BALCONY/STAIRS
[Symbol]	PROPOSED CURB STOP
[Symbol]	PROPOSED GATE VALVE
[Symbol]	PROPOSED CURB STOP
[Symbol]	PROPOSED 90° BEND, TEE, REDUCER
[Symbol]	PROPOSED BOLLARD (SEE DETAIL)
[Symbol]	PROPOSED STORM INLET
[Symbol]	PROPOSED SANITARY CLEANOUT (SDP 1-06)
[Symbol]	PROPOSED WATER SERVICE
[Symbol]	PROPOSED STORM SEWER
[Symbol]	PROPOSED DRAIN TILE
[Symbol]	PROPOSED SANITARY SERVICE
[Symbol]	PROPOSED WATERMAIN
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED GUARDRAIL

EXISTING FEATURES LEGEND

[Symbol]	EXISTING BENCH MARK	[Symbol]	EXISTING PROPERTY BOUNDARY
[Symbol]	EXISTING FLAG POLE	[Symbol]	EXISTING LOT LINE
[Symbol]	EXISTING GUARD POST	[Symbol]	EXISTING RIGHT OF WAY
[Symbol]	EXISTING SIGN SINGLE POST	[Symbol]	EXISTING SECTION LINE
[Symbol]	EXISTING SHRUB	[Symbol]	EXISTING FENCE CHAIN LINK
[Symbol]	EXISTING TREE DECIDUOUS	[Symbol]	EXISTING FENCE WOOD
[Symbol]	EXISTING TREE CONIFER	[Symbol]	EXISTING OVERHEAD ELECTRIC
[Symbol]	EXISTING SANITARY MANHOLE	[Symbol]	EXISTING UNDERGROUND ELECTRIC
[Symbol]	EXISTING STORM MANHOLE	[Symbol]	EXISTING OVERHEAD TELE
[Symbol]	EXISTING STORM INLET	[Symbol]	EXISTING UNDERGROUND TELE
[Symbol]	EXISTING STORM CATCH BASIN	[Symbol]	EXISTING SANITARY SEWER
[Symbol]	EXISTING YARD LIGHT	[Symbol]	EXISTING SANITARY SEWER SERVICE
[Symbol]	EXISTING ELEC LIGHT POLE	[Symbol]	EXISTING STORM SEWER
[Symbol]	EXISTING ELEC POLE	[Symbol]	EXISTING UNDERGROUND GAS
[Symbol]	EXISTING ELEC METER	[Symbol]	EXISTING WATERMAIN
[Symbol]	EXISTING TELE PEDESTAL	[Symbol]	EXISTING WATERMAIN SERVICE
[Symbol]	EXISTING TELE HANDHOLE	[Symbol]	EXISTING RETAINING WALL
[Symbol]	EXISTING GAS METER	[Symbol]	EXISTING BUILDING WALL
[Symbol]	EXISTING GAS VALVE	[Symbol]	EXISTING BITUMINOUS SURFACE
[Symbol]	EXISTING WATER HYDRANT	[Symbol]	EXISTING CONCRETE SURFACE
[Symbol]	EXISTING WATER VALVE	[Symbol]	EXISTING AIR CONDITIONER UNIT
[Symbol]	EXISTING WATER CURB STOP		



CAUTION ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.

September 18, 2023

Community Development Department
4001 West River Parkway Suite 100
Rochester, MN 55901

RE: Conditional Use Permit Amendment - Incentive Development Final Plan CD2023-003CUP-A, and associated Major Modification application CD2023-010MOD for increased height, to be known as City Walk Apartments, by DM Companies, for the development of a 12-story, 361-dwelling unit multi-family building, on a total of .76 acres within a R-4 zoning district. The site is located at the southwest corner of 2nd Street SW and 6th Avenue SW.

The Rochester Fire Marshal's Office has conducted a review of the revised plans re-submitted for the proposed multi-family apartment building. Our review of the revised application is complete and the following comments from the Fire Marshal's Office are; the fire command center will be required to meet the requirements in the Minnesota State Fire Code 2020 Chapter 5 Section 508.1 through 508.1.6.

Approval is recommended for this conditional use permit amendment.

Sincerely,

Jason Fife
Assistant Fire Marshal



TO: ROCHESTER PLANNING AND ZONING TEAM
MOLLY PATTERSON-LUNDGREN, AICP
FROM: HERITAGE PRESERVATION & URBAN DESIGN COORDINATOR
SUBJECT: CITY WALK AMENDMENT – URBAN DESIGN REQUIREMENTS
DATE: OCTOBER 3, 2023

With the most recent amendments to the City Walk apartment project, a review was completed to verify that all Architectural and Urban design requirement in the UDC are being met. Based on a review meeting with the applicant, it appears that all requirements will be met. However, written verification of this is still needed and submittal of this (identified below), is a requirement prior to final approval.

Building Design (UDC 60.400.070F):

- Horizontal articulation, the following shall be provided:
 - Measurement that shows how far the balconies extend from the building; a minimum of 4-feet is required to meet horizontal articulation requirements (sub-section 1.f.1.c).
 - A measurement that shows depth of the black framing element (labeled as “dark masonry”), how far it extends from the building; a minimum of 6” is required to meet horizontal articulation requirements (sub-section 1.f.1.a).
 - In the most recent review, a few areas were called out as possibly meeting the definition of “blank wall”. Some additional design elements were discussed to avoid this. Identification of any areas of the building that meet the definition of “blank wall” and an explanation of how these will be addressed must be submitted.

TO: ROCHESTER PLANNING AND ZONING TEAM
MOLLY PATTERSON-LUNDGREN, AICP

FROM: HERITAGE PRESERVATION & URBAN DESIGN COORDINATOR

SUBJECT: 219 6TH AVE SW

DATE: SEPTEMBER 27, 2023

As requested, I am providing information on one of the buildings located where the City Walk Apartment development is proposed. It is my understanding that the building located at 219 6th Ave SW was brought up by a member of the public during the Neighborhood Informational Meeting on August 30th. This property *is not* designated as a landmark nor identified for further review under the city's heritage preservation program (It is not on the historic inventory). I have found no indication that it has any protective status at state or federal level preservation programs either.



The property was brought up for discussion at a March 22, 2022 Heritage Preservation Commission (HPC) meeting. The HPC requested that research be conducted and additional information be provided for them to consider possible historic significance. At their following meeting, on April 26, the following information was provided to the HPC. The house was constructed in approximately 1917, at which time the property was owned by Martin and Margaret Heffron. A general contractor, his obituary indicates that Martin constructed the home himself. A 1920 insurance map shows that the home was also a rooming house, likely while serving as the family residence at the same time. Tax records indicate that the property was conveyed to their son, Maurice in 1936.

Mr. Heffron's work included construction projects throughout the upper Midwest. St. Mary's Hospital (original, the chapel & later additions), Schuster Brewery, and the Chateau Theater are some of the most well known locally. He also served as a City Aldermen [Council person], on the Charter Commission, and was Mayor 1905-07. He was a director of Olmsted Co Building and Loan Association and member of several social/benevolent organizations.

The HPC considered this information and, at their April 26, 2022 meeting, determined not to place the property on the historic inventory, indicating they would not further review it for possible historic landmark designation. The property was brought up again at the HPC on August 22, 2023. Again, the commission decided not to pursue additional research, evaluation, or place any protection on the property.

CONDITIONAL USE PERMIT REFERRAL RESPONSE

DATE: SEPTEMBER 29, 2023
TO: LOGAN TJOSEM (WIDSETH)
FROM: ADAM NOWINSKI
CC: DAVID MCCOLLISTER
RE: CD2023-003CUP-A (CITYWALK APARTMENTS)

A review of the Conditional Use Permit – CD2023-003CUP-A (CITYWALK APARTMENTS) has revealed the following **GIS, ROADWAY, or ADDRESS** concerns:

1. All E911 addressing associated with existing structures in this development area will be retired as the buildings are demolished.
2. Please work with County Addressing staff on a suite numbering scheme for the building. These will be added into our addressing database, there is no fee or form involved.
3. Plat address notification will be delivered after the final plat has been recorded.

For discussion of these concerns please contact our office.

Adam Nowinski GIS Specialist / Addressing 507-328-7142

From: Schnell, Tracy (DOT) <tracy.schnell@state.mn.us>
Sent: Tuesday, September 19, 2023 10:35 AM
To: Community Development Department
Cc: Wayne, Kurt (He/Him/His) (DOT); Schnell, Tracy (DOT)
Subject: Development Application CD2023-003CUP-A

[EXTERNAL SENDER]: Do not open links/attachments if uncertain about the sender and never give out your user id and password.

This proposal appears to have no significant impact on MnDOT roadways and is acceptable to MnDOT.

- Application Number: CD2023-003CUP-A
- Description: Conditional Use Permit Amendment- Incentive Development Final Plan CD2023-003CUP-A, and associated Major Modification application CD2023-010MOD for increased height, to be known as City Walk Apartments, by DM Companies, for the development of a 12-story, 361-dwelling unit multi-family building, on a total of .76 acres within a R-4 zoning district. The site is located at the southwest corner of 2nd Street SW and 6th Avenue SW.

Thanks,

Tracy Schnell
Senior Planner | District 6

Minnesota Department of Transportation
2900 48th Street NW
Rochester, MN 55901
C: 507-259-3852
mndot.gov/





REQUEST FOR ACTION

Major Modification No. CD2023-010MOD by DM Companies (CityWalk)

MEETING DATE:

October 11, 2023

ORIGINATING DEPT:

Community Development

AGENDA SECTION:

Public Hearings

PRESENTER:

Desmond McGeough

Action Requested:

Approving Major Modification No. CD2023-010MOD, to permit ten additional feet in height for a multifamily building (CityWalk), proposed at the southwest corner of the 2nd St SW and 6th Ave SW intersection.

Report Narrative:

The applicant is proposing a Major Modification to permit an additional 10-feet in building height to the CityWalk project, bringing the overall height of the building to 125-feet.

The Unified Development Code allows the Planning Commission to permits up to ten additional feet in building height, if certain factors are met. The Development Review Team recommends approval of the Major Modification because the request is consistent with the Comprehensive Plan - it permits a more efficient use of land and existing infrastructure, and allows for additional density to support rapid transit in this corridor (LINK).

The Planning Commission will make the final determination on the Major Modification - it will not be forwarded to the City Council.

This Major Modification is running concurrently with Conditional Use Permit No. CD2023-003-A (CityWalk) for development approval.

One Community Development Memo has been prepared that includes both the Conditional Use Permit Amendment application (CD2023-003-A) and the Major Modification application (CD2023-010MOD).

Priorities & Foundational Principles:

Economic Vibrancy & Growth Management
Environmental Stewardship

Policy Considerations & DEI Impact:

The proposed Conditional Use Permit achieves Comprehensive Plan Core Principles of Housing Diversity, Fiscal Sustainability, and Integration of Land Use and Transportation.

Prior Legislative Actions & Community Engagement:

January 19, 2022: Council Meeting - Approval of CityWalk CD2021-025CUP
May 16, 2022: Council Meeting - Approval of CityWalk Amendment CD2022-004CUP

September 11, 2023: Neighborhood Information Meeting

Fiscal & Resource Impact:

All development costs will be the responsibility of the developer and will be outlined in a Development Agreement and/or City-Owner Contract.

Alternative Action(s):

No alternative actions are suggested at this time.

Prepared By:

Desmond McGeough

Attachments: